

Northern Midlands Local Provisions Schedule

Local Provisions Schedule amendments

| No. | Effective date | Amendment no | Amendment information | Text/Map |
|-----|------------------|--------------|---|----------|
| 11 | 16 April 2024 | 10-2023 | Amend Table NOR-Site-specific Qualifications and the planning scheme maps to insert a site-specific qualification overlay on 16A Logan Road, Evandale | Text/Map |
| 10 | 12 April 2024 | 12-2023 | Rezone 75-77 High Street, Campbell Town from the Community Purpose Zone to the General Business Zone and remove a portion of the priority vegetation area overlay. | Map |
| 9 | 29 February 2024 | 09-2023 | Modify the Use Table at clause S1.5.2 - Area 2 by inserting the Use Class Equipment and Machinery Sales and Hire in the Permitted category and including a qualification. | Text |
| 8 | 9 November 2023 | 01-2022 | Amendments to the Translink Specific Area Plan | Text/Map |
| 7 | 27 June 2023 | 07-2023 | Apply the Airport Noise Exposure Area overlay and the Airport Obstacle Limitation Area overlay. | Map |
| 6 | 26 June 2023 | 06-2023 | Apply the Landscape Conservation Zone to properties in Ross, Deddington, Evandale and Liffey. Apply the Priority Vegetation Area overlay to properties in Ross, Deddington, Evandale and Liffey. | Map |
| 5 | 21 June 2023 | 04-2023 | Apply the Rural Living Zone C to 18 Wilmores Lane (folio of the Register 116434/3), 116 Catherine Street (folio of the Register 168940/1) and 120 Catherine Street (folio of the Register 168940/2), 140 Catherine Street (folio of the register 116434/2), 130 Brickendon Street, Longford (folio of the register 116434/1) and adjoining road centrelines and reserved roads. | Map |
| 4 | 14 June 2023 | 05-2023 | Apply the Rural Zone to 500 and 502 Hobart Road, Youngtown and delete Site-specific Qualification NOR-11.4. | Text/Map |
| 3 | 22 May 2023 | 02-2022 | Rezone 21 Macquarie Street, Cressy (folio of the Register 21474/3) from Recreation to General Residential. | Map |

| No. | Effective date | Amendment no | Amendment information | Text/Map |
|-----|-----------------|----------------|--|----------|
| 2 | 31 March 2023 | 04-2022 | <ul style="list-style-type: none"> • Rezone 7 Wellington Street, Longford from the General Residential Zone to the General Business Zone. • Rezone 7 Wellington Street, Longford from the Agriculture Zone to the General Business Zone. • Rezone 7 Wellington Street, Longford from the Agriculture Zone to the General Residential Zone. • Extend the Longford Specific Area Plan to the extent of the title boundary for 7 Wellington Street, Longford. | Map |
| 1 | 9 November 2022 | Not applicable | Commencement of LPS under section 35M of the <i>Land Use Planning and Approvals Act 1993</i> | Text |

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Northern Midlands Local Provisions Schedule

NOR-Local Provisions Schedule Title

NOR-1.1 This Local Provisions Schedule is called the Northern Midlands Local Provisions Schedule and comprises all the land within the municipal area.

NOR-Effective Date

NOR-1.2 The effective date for this Local Provisions Schedule is 9 November 2022.

NOR-Local Area Objectives

This sub-clause is not used in this Local Provisions Schedule.

NOR-P1.0 Particular Purpose Zone – Campbell Town Service Station

NOR-P1.1 Zone Purpose

The purpose of the Particular Purpose Zone – Campbell Town Service Station is:

NOR-P1.1.1 To provide for vehicle fuel sales and limited associated uses servicing the wider region, including heavy transport vehicles.

NOR-P1.1.2 To ensure off-site impacts are minimal or can be managed to minimise conflict with, or unreasonable loss of amenity to, any sensitive uses.

NOR-P1.2 Local Area Objectives

This sub-clause is not used in this particular purpose zone.

NOR-P1.3 Definition of Terms

This sub-clause is not used in this particular purpose zone.

NOR-P1.4 Use Table

| Use Class | Qualification |
|--------------------------------|---|
| No Permit Required | |
| Utilities | If for minor utilities. |
| Permitted | |
| Vehicle Fuel Sales and Service | |
| Discretionary | |
| Food Services | If associated with Vehicle Fuel Sales and Service use on the same site. |
| Service Industry | If for a car wash. |
| Utilities | If not listed as No Permit Required. |
| Prohibited | |
| All other uses | |

NOR-P1.5 Use Standards

NOR-P1.5.1 Amenity

| Objective: | That uses do not cause an unreasonable loss of amenity to nearby sensitive uses. | |
|--|---|----------------------|
| Acceptable Solutions | | Performance Criteria |
| <p>A1</p> <p>Hours of operation of a use, commercial vehicle movements, and unloading and loading of commercial vehicles for a use must be within the hours of 6.00am to 8.00pm.</p> | <p>P1</p> <p>Hours of operation of a use, commercial vehicle movements, and unloading and loading of commercial vehicles for a use must not cause an unreasonable loss of potential or actual amenity to adjoining properties, having regard to:</p> <ul style="list-style-type: none"> (a) the timing, duration or extent of vehicle movements; (b) the number and frequency of vehicle movements; (c) the potential for light spill from vehicle headlights; (d) the size of vehicles involved; (e) manoeuvring required by heavy vehicles, including the amount of reversing and associated warning noise; (f) the potential for loss of residential amenity due to noise, and any noise mitigation measures between the vehicle movement areas and the adjoining residential areas; and (g) potential conflicts with other traffic. | |
| <p>A2</p> <p>Beyond the zone boundary, noise levels caused by the use must not exceed:</p> <ul style="list-style-type: none"> (a) 50dB(A) between 8.00am and 8.00pm; (b) 40dB(A) at other times; and (c) 5dB (A) above background for intrusive noise. | <p>P2</p> <p>Noise must not cause unreasonable loss of potential or actual amenity to adjoining properties, having regard to:</p> <ul style="list-style-type: none"> (a) background noise levels; (b) the duration and tonal characteristics of the noise; and (c) time of day. | |
| <p>A3</p> <p>External lighting for a use must:</p> | <p>P3</p> <p>External lighting for a use must not cause an unreasonable loss of potential or actual amenity to adjoining properties, having regard to:</p> | |

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|---|--|
| <p>(a) not operate within the hours of 8.00pm to 6.00am, excluding any security lighting; and</p> <p>(b) if for security lighting, be baffled so that direct light does not extend into the adjoining property.</p> | <p>(a) the level of illumination and duration of lighting; and</p> <p>(b) the distance to habitable rooms of an adjacent dwelling.</p> |
| <p>A4</p> <p>Overlooking of private open space on adjoining properties must not occur.</p> | <p>P4</p> <p>The use should not cause an unreasonable loss of privacy to the potential or actual private open space of adjoining properties, having regard to:</p> <p>(a) the existing level of privacy;</p> <p>(b) the eye level of the drivers of vehicles visiting the site; and</p> <p>(c) the distance of vehicle manoeuvring areas from the side and rear boundaries.</p> |

NOR-P1.5.2 Pollutants

| | |
|--|---|
| <p>Objective:</p> | <p>That pollutants caused by the use are contained within the site.</p> |
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1.1</p> <p>The following pollutants caused by the use must be contained within the site:</p> <p>(a) fuels;</p> <p>(b) oils;</p> <p>(c) mud or silt; and</p> <p>(d) chemicals; or</p> <p>A1.2</p> <p>Any pollutants must be treated in accordance with a trade waste agreement and directed to a sewer.</p> | <p>P1</p> <p>No Performance Criterion.</p> |

NOR-P1.6 Development Standards for Buildings and Works

NOR-P1.6.1 Building height

| Objective: | To provide for a building height that: <ul style="list-style-type: none"> (a) is compatible with the form and scale of residential development; and (b) minimises adverse impacts on adjoining properties. |
|---|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Building height must be not more than 8.5m.</p> | <p>P1</p> <p>Building height must be necessary for the operation of the use and not cause an unreasonable impact on adjoining properties, having regard to:</p> <ul style="list-style-type: none"> (a) the bulk and form of the building; (b) separation from existing uses on adjoining properties; (c) any buffers created by natural or other features; and (d) the degree of overshadowing and overlooking of adjoining residential properties. |

NOR-P1.6.2 Setback

| Objective: | That the building setback: <ul style="list-style-type: none"> (a) provides sufficient area for access and landscaping; and (b) minimises adverse impacts on adjoining properties. |
|---|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Buildings must have a setback from a frontage of not less than 10m.</p> | <p>P1</p> <p>Buildings must have a setback from a frontage that provides adequate space for vehicle access, and landscaping, and minimises adverse impact on adjoining residential properties, having regard to:</p> <ul style="list-style-type: none"> (a) the topography of the site; (b) the setback of buildings on adjacent properties; (c) the safety of road users; (d) the amenity of residents; and (e) landscaping to integrate development with the streetscape. |

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| <p>A2</p> <p>Buildings must have a setback from a side and rear boundary of not less than 10m.</p> | <p>P2</p> <p>Buildings must be sited to not cause an unreasonable loss of residential amenity to adjoining properties, having regard to:</p> <ul style="list-style-type: none"> (a) overshadowing and reduction in sunlight to habitable rooms and private open space of dwellings; (b) overlooking and reduction of privacy; (c) visual impacts caused by the apparent scale, bulk or proportions of the building when viewed from the adjoining property; (d) the level and effectiveness of physical screening by fences or vegetation; (e) the location and impacts of traffic circulation and the need to locate parking away from residential boundaries; and (f) the location and impacts of illumination of the site. |
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NOR-P1.6.3 Fencing

| <p>Objective:</p> | <p>That fencing:</p> <ul style="list-style-type: none"> (a) is compatible with the streetscape; and (b) assists with the maintenance of residential amenity to adjoining residential properties. |
|--|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Fences must be located and designed to prevent:</p> <ul style="list-style-type: none"> (a) the headlights of vehicles using the site being directed into windows of adjacent dwellings; and (b) overlooking of private open spaces of adjacent residential properties. | <p>P1</p> <p>Fences must be located and designed to protect residential amenity on adjacent properties, having regard to:</p> <ul style="list-style-type: none"> (a) attenuation of noise; (b) potential for light spill; (c) prevention of overlooking; (d) fence height, design, location and extent; (e) the proposed materials and construction; (f) the potential for loss of sunlight to residential buildings or private open space; (g) the potential for visual impact due to appearance of bulk; and |

| | |
|---|---|
| | (h) streetscape appearance. |
| <p>A2</p> <p>Frontage fences with a height greater than 1.2m must be setback from the boundary and integrated with landscaping for the site.</p> | <p>P2</p> <p>Fences at the frontage of a site must not detract from the streetscape or the character of the local area, having regard to the height, apparent scale, proportions, materials, design and colour of the fence.</p> |

NOR-P1.6.4 Landscaping

| | |
|--|--|
| Objective: | That landscaping: <ul style="list-style-type: none"> (a) enhances the appearance of the site; and (b) does not detract from the amenity of adjacent residential properties. |
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Along a frontage, landscaping must be provided for a minimum of 30% of the frontage at a minimum width of 3m.</p> | <p>P1</p> <p>Landscaping along a frontage must enhance the appearance of the site, having regard to:</p> <ul style="list-style-type: none"> (a) the width of the setback; (b) the width of the frontage; (c) the topography of the site; (d) the existing vegetation on the site; (e) the type and growth of the proposed vegetation; and (f) the location of parking and access areas. |
| <p>A2</p> <p>Along a boundary with a residential zone landscaping must:</p> <ul style="list-style-type: none"> (a) be provided for a depth of not less than 2m; and (b) provide mature species to a height of at least 4m within 50% of the landscaping area. | <p>P2</p> <p>Landscaping along a boundary with a residential zone must not detract from the amenity of adjacent residential properties, and appearance of the site, having regard to:</p> <ul style="list-style-type: none"> (a) the topography of the site; (b) the existing vegetation on the site; (c) the type and growth of the proposed vegetation; and (d) any proposed screening. |

NOR-P1.6.5 Stormwater

| | | |
|-----------------------------|--|--|
| Objective: | That stormwater from the subject site is directed into a public stormwater system. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | All stormwater runoff must be captured within the boundaries of the site and directed into a public stormwater system. | <p>P1</p> <p>All stormwater runoff is to be collected and discharged in a manner that does not cause adverse impacts, having regard to:</p> <ul style="list-style-type: none"> (a) the location of the discharge point (if any); (b) the stormwater flow paths both internal and external to the site; (c) the location of building areas within the site; (d) the topography of the site; (e) the characteristics of the site, including rainfall; (f) the development on the site and adjoining land; (g) the potential for contamination; and (h) any on-site storage devices, detention basins or other water sensitive urban design techniques within the subdivision. |

NOR-P1.7 Development Standards for Subdivision

NOR-P1.7.1 Lot design

| | | |
|-----------------------------|---|---|
| Objective: | <p>That each lot:</p> <ul style="list-style-type: none"> (a) is for the provision of public utilities; and (b) is provided with appropriate access to a road. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | Each lot (other than the balance lot) must be for the provision of public utilities. | P1 No Performance Criterion. |
| A2 | Each lot, or a lot proposed in a plan of subdivision, must have a frontage of not less than 20m. | P2 Each lot, or a lot proposed in a plan of subdivision, must be provided with a frontage or legal connection to a road by a right of carriageway, that is sufficient for the intended use, having regard to: |

| | |
|--|---|
| | <ul style="list-style-type: none"> (a) the number of other lots which have the land subject to the right of carriageway as their sole or principal means of access; (b) the topography of the site; (c) the functionality and useability of the frontage; (d) the anticipated nature of vehicles likely to access the site; (e) the ability to manoeuvre vehicles on the site; and (f) the ability for emergency services to access the site. |
|--|---|

NOR-P1.7.2 Services

| | | |
|-----------------------------|---|--|
| Objective: | That the subdivision of land provides services for the future use and development of the land. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | <p>Each lot, or lot proposed in a plan of subdivision, excluding those for Utilities, must:</p> <ul style="list-style-type: none"> (a) have a connection to a reticulated sewerage system; or (b) be capable of accommodating an on-site waste water management system. | P1 No Performance Criterion. |
| A2 | <p>Each lot, or lot proposed in a plan of subdivision, excluding those for Utilities, must be capable of connecting to a public stormwater system.</p> | P2 No Performance Criterion. |
| A3 | <p>Each lot, or lot proposed in a plan of subdivision, excluding those for Utilities, must be capable of connecting to a public reticulated water system.</p> | P3 No Performance Criterion. |

NOR-P1.8 Tables

This sub-clause is not used in this particular purpose zone.

NOR-P2.0 Particular Purpose Zone – Epping Forest Service Station

NOR-P2.1 Zone Purpose

The purpose of the Particular Purpose Zone – Epping Forest Service Station is:

NOR-P2.1.1 To provide for vehicle fuel sales and limited associated uses.

NOR-P2.1.2 To minimise unreasonable impact on the amenity of adjacent sensitive uses.

NOR-P2.2 Local Area Objectives

This sub-clause is not used in this particular purpose zone.

NOR-P2.3 Definition of Terms

This sub-clause is not used in this particular purpose zone.

NOR-P2.4 Use Table

| Use Class | Qualification |
|--------------------------------|---|
| No Permit Required | |
| Utilities | If for minor utilities. |
| Permitted | |
| Vehicle Fuel Sales and Service | |
| Discretionary | |
| Food Services | If associated with Vehicle Fuel Sales and Service use on the same site. |
| Service Industry | If for a car wash. |
| Utilities | If not listed as No Permit Required. |
| Prohibited | |
| All other uses | |

NOR-P2.5 Use Standards

NOR-P2.5.1 Amenity

| Objective: | That uses do not cause an unreasonable loss of amenity to adjacent sensitive uses. | |
|---|---|--|
| Acceptable Solutions | Performance Criteria | |
| <p>A1</p> <p>Hours of operation of a use, excluding minor Utilities and Vehicle Fuel Sales and Service, must be within the hours of:</p> <p>(a) 7.00am to 9.00pm Monday to Saturday; and</p> <p>(b) 8.00am to 6.00pm Sunday and public holidays.</p> | <p>P1</p> <p>Hours of operation of use, excluding minor Utilities and Vehicle Fuel Sales and Services, must not cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:</p> <p>(a) the timing, duration or extent of vehicle movement; and</p> <p>(b) noise, lighting or other emissions.</p> | |
| <p>A2</p> <p>External lighting for a use, must:</p> <p>(a) not operate within the hours of 9.00pm to 7.00am, excluding any security lighting; and</p> <p>(b) if for security lighting, be baffled so that it does not cause emission of light onto an adjacent property.</p> | <p>P2</p> <p>External lighting for a use, used on the site must not cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:</p> <p>(a) the number of proposed light sources and their intensity;</p> <p>(b) the location of the proposed light sources;</p> <p>(c) the topography of the site;</p> <p>(d) the degree of screening between the light source and the sensitive use; and</p> <p>(e) existing light sources.</p> | |

NOR-P2.6 Development Standards for Buildings and Works

NOR-P2.6.1 Building height

| Objective: | To provide for a building height that: <ul style="list-style-type: none"> (a) is necessary for the operation of the use; and (b) minimises adverse impacts on adjacent properties. |
|---|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Building height must be not more than 8.5m.</p> | <p>P1</p> <p>Building height must be necessary for the operation of the use and not cause an unreasonable impact on adjacent properties, having regard to:</p> <ul style="list-style-type: none"> (a) the bulk and form of the building; (b) separation from existing uses on adjacent properties; (c) any buffers created by natural or other features; and (d) the degree of overshadowing and overlooking of adjacent sensitive uses. |

NOR-P2.6.2 Setbacks

| Objective: | That building setbacks: <ul style="list-style-type: none"> (a) are appropriate for the site; and (b) do not cause an unreasonable loss of amenity to adjacent sensitive uses. |
|---|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Buildings must have a setback from a frontage of not less than 10m.</p> | <p>P1</p> <p>Buildings must have a setback from a frontage that provides adequate space for vehicle access and landscaping, and does not cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:</p> <ul style="list-style-type: none"> (a) the topography of the site; (b) the setback of buildings on adjacent properties; (c) the safety of road users; and (d) the provision of landscaping along the frontage of the site. |

| | |
|---|--|
| <p>A2</p> <p>Buildings must have a setback from a side and rear boundary of not less than 10m.</p> | <p>P2</p> <p>Buildings must be sited so there is no unreasonable loss of amenity to adjacent sensitive uses, having regard to:</p> <ul style="list-style-type: none"> (a) the degree of overshadowing and overlooking of adjacent sensitive uses; (b) visual impacts caused by the apparent scale, bulk or proportions of the building when viewed from adjacent sensitive uses; (c) the level and effectiveness of physical screening by fences or vegetation; and (d) the location of traffic circulation and parking in relation to adjacent sensitive uses. |
| <p>A3</p> <p>Air conditioning, air extraction vents, self-bunded fuel tanks, pumping, heating or refrigeration systems, compressors or generators must have a setback from a sensitive use of not less than 40m.¹</p> | <p>P3</p> <p>Air conditioning, air extraction vents, self-bunded fuel tanks, pumping, heating or refrigeration systems, compressors or generators within 40m of a sensitive use must be designed, located, baffled or insulated to not cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:</p> <ul style="list-style-type: none"> (a) the characteristics and frequency of any emissions generated; (b) the nature of the proposed use; (c) the topography of the site and location of adjacent sensitive uses; and (d) any mitigation measures proposed. |

NOR-P2.6.3 Fencing

| | | |
|--|--|-----------------------------|
| Objective: | That fencing does not result in unreasonable loss of amenity to adjacent sensitive uses. | |
| Acceptable Solutions | | Performance Criteria |
| <p>A1</p> <p>Fences must be solid and no less than 1.8m and not more than a height of 2.1m above existing natural ground level.</p> | <p>P1</p> <p>Fences must be located and designed so as not to cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:</p> <ul style="list-style-type: none"> (a) attenuation of noise; | |

¹ An exemption for air conditioners and heat pumps applies in this zone – see Table 4.6.

| | |
|--|---|
| | <ul style="list-style-type: none"> (b) potential for light spill, including lights from vehicles using the site; (c) prevention of overlooking; (d) the height, design, location and extent of the fence; (e) overlooking of private open spaces of adjacent residential properties (f) the proposed materials and construction and bulk; (g) the potential for loss of sunlight; and (h) the streetscape. |
|--|---|

NOR-P2.6.4 Landscaping

| Objective: | That landscaping: <ul style="list-style-type: none"> (a) enhances the appearance of the site; and (b) does not result in unreasonable loss of amenity to adjacent sensitive uses. |
|---|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1.1</p> <p>Landscaping treatment to a depth of 3m must be provided along a boundary within 40m of an adjacent dwelling, excluding areas required for vehicle access and other services.</p> <p>A1.2</p> <p>Landscaping treatment must have a minimum of 50% of the landscaped area made up of species that are known to grow to a mature height of at least 4m.</p> | <p>P1</p> <p>Landscaping treatment does not result in an unreasonable loss amenity to adjacent sensitive uses and enhances the appearance of the site, having regard to:</p> <ul style="list-style-type: none"> (a) the topography of the site; (b) any existing vegetation on the site; (c) the type, growth, and mature height of the proposed vegetation; and (d) any hard screening proposed. |

NOR-P2.6.5 Outdoor storage areas

| | | |
|-----------------------------|--|--|
| Objective: | That outdoor storage areas do not detract from the appearance of the site or surrounding area. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | Outdoor storage areas, excluding for the display of goods for sale, must not be visible from any road or public open space adjoining the site. | P1 Outdoor storage areas, excluding any goods for sale, must be located, treated or screened to not cause an unreasonable loss of the visual amenity of the area, having regard to: <ul style="list-style-type: none"> (a) visual impact on adjacent sensitive uses, (b) the nature of the use; (c) the type of goods, materials or waste to be stored; (d) the topography of the site; and (e) any screening proposed. |

NOR-P2.7 Development Standards for Subdivision

NOR-P2.7.1 Lot design

| | | |
|-----------------------------|---|--|
| Objective: | That each lot: <ul style="list-style-type: none"> (a) is for public use by the Crown, a council or a State authority or for the provision of public utilities; and (b) is provided with appropriate access to a road. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | Each lot, or a lot proposed in a plan of subdivision, must: <ul style="list-style-type: none"> (a) be required for public use by the Crown, a council or a State authority; (b) be required for the provision of Utilities; or (c) be for the consolidation of a lot with another lot provided both lots are within the same zone. | P1 No Performance Criterion. |

NOR-P2.8 Tables

This sub-clause is not used in this particular purpose zone.

NOR-S1.0 Translink Specific Area Plan

NOR-S1.1 Plan Purpose

The purpose of the Translink Specific Area Plan is:

- NOR-S1.1.1 Provide for industrial and commercial uses and developments which serve the strategic needs of the Launceston and Northern Midlands region and the State, and which would derive a particular benefit from a location having proximity to Launceston Airport, access to the State's road and rail network or links to the port of Bell Bay.
- NOR-S1.1.2 Cater primarily for storage, transport and industrial uses.
- NOR-S1.1.3 Provide for a limited range of retail or other activity, which supports storage, transport and industrial uses.
- NOR-S1.1.4 Provide for a limited range of retail or other activity, which can demonstrate that the location offers a particular strategic advantage.
- NOR-S1.1.5 Provide an area within which business-support facilities for the Translink Industrial Zone and Airport operations can locate.
- NOR-S1.1.6 Provide opportunities for the development of accommodation adjacent to and serving the Airport.
- NOR-S1.1.7 Provide detailed guidance on use and development within the General Industrial Zone at Translink, particular to the unique characteristics of the area.

NOR-S1.2 Application of this Plan

- NOR-S1.2.1 The specific area plan applies to the area of land designated as NOR-S1.0 Translink Specific Area Plan on the overlay maps and in Figure NOR-S1.2.1.
- NOR-S1.2.2 In the area of land this plan applies to, the provisions of the specific area plan are in substitution for, and are in addition to the provisions of:
 - (a) General Industrial Zone;
 - (b) Agriculture Zone;
 - (c) Parking and Sustainable Transport Code; and
 - (d) Safeguarding Airports Code,as specified in the relevant provisions.

NOR-S1.3 Local Area Objectives

This sub-clause is not used in this specific area plan.

NOR-S1.4 Definition of Terms

| Term | Definition |
|-------------|---|
| curtilage | means the area of land occupied by development including its yard, outbuildings, car parking, driveways, storage areas, landscaping, wastewater disposal areas and land maintained for natural hazard protection. |

NOR-S1.5 Use Table

NOR-S1.5.1 - Area 1 (refer to Figure NOR-S1.2.1)

This clause is in substitution for General Industrial Zone - clause 19.2 Use Table.

| Use Class | Qualification |
|----------------------------------|--|
| No Permit Required | |
| Passive Recreation | |
| Utilities | If for minor utilities. |
| Permitted | |
| Research and Development | |
| Service Industry | |
| Storage | If not for a liquid fuel depot or solid fuel depot. |
| Transport Depot and Distribution | |
| Utilities | If not listed as No Permit Required. |
| Vehicle Fuel Sales and Service | |
| Vehicle Parking | |
| Discretionary | |
| Bulky Goods Sales | If for a showroom with a gross floor area of not more than 200m ² . |
| Emergency Services | |
| Manufacturing and Processing | |
| Resource Processing | |
| Storage | If for a liquid fuel depot or solid fuel depot. |

| Use Class | Qualification |
|-------------------|---------------|
| Prohibited | |
| All other uses | |

NOR-S1.5.2 - Area 2 (refer to Figure NOR-S1.2.1)

This clause is in substitution for General Industrial Zone – clause 19.2 Use Table.

| Use Class | Qualification |
|--|---|
| No Permit Required | |
| Passive Recreation | |
| Utilities | If for minor utilities. |
| Permitted | |
| Equipment and Machinery Sales and Hire | If at 19 Johns Street, Western Junction folio of the Register 150770/8. |
| Storage | If not for a liquid fuel depot or solid fuel depot. |
| Transport Depot and Distribution | If not for a passenger transport terminal. |
| Vehicle Parking | |
| Discretionary | |
| Bulky Goods Sales | If for: <ul style="list-style-type: none"> (a) a showroom; or (b) motor vehicle, boat or caravan sales. |
| Business and Professional Services | If for an office. |
| Emergency Services | |
| Food Services | If for existing. |
| Manufacturing and Processing | |
| Resource Processing | If at 13 Richard Street, Western Junction folio of the Register 129904/5. |
| Transport Depot and Distribution | If not listed as Permitted. |
| Prohibited | |
| All other uses | |

NOR-S1.5.3 - Area 3 (refer to Figure NOR-S1.2.1)

This clause is in substitution for General Industrial Zone – clause 19.2 Use Table.

| Use Class | Qualification |
|----------------------------------|---|
| No Permit Required | |
| Utilities | If for minor utilities. |
| Permitted | |
| Storage | If not for a liquid fuel depot or solid fuel depot. |
| Transport Depot and Distribution | |
| Discretionary | |
| Manufacturing and Processing | |
| Research and Development | |
| Resource Processing | |
| Storage | If not listed as Permitted. |
| Utilities | If not listed as No Permit Required. |
| Prohibited | |
| All other uses | |

NOR-S1.5.4 - Area 4 (refer to Figure NOR-S1.2.1)

This clause is in substitution for General Industrial Zone – clause 19.2 Use Table.

| Use Class | Qualification |
|-------------------------------------|--|
| No Permit Required | |
| Passive Recreation | |
| Utilities | If for minor utilities. |
| Permitted | |
| Bulky Goods Sales | If for existing motor vehicle, boat, or caravan sales. |
| Business and Professional Services | If for an office. |
| Community Meeting and Entertainment | |
| Food Services | If for a restaurant. |
| Research and Development | |

| Use Class | Qualification |
|--|--|
| Residential | If for a home-based business. |
| Service Industry | |
| Storage | |
| Visitor Accommodation | If not for a motel. |
| Discretionary | |
| Equipment and Machinery Sales and Hire | |
| Food Services | If for a takeaway shop and not listed as Permitted. |
| General Retail and Hire | If for a gross floor area of not more than 250m ² . |
| Manufacturing and Processing | |
| Resource Processing | |
| Transport Depot and Distribution | If for a passenger transport depot. |
| Utilities | If not listed as No Permit Required. |
| Vehicle Fuel Sales and Service | If for a service station. |
| Visitor Accommodation | If not listed as No Permit Required. |
| Prohibited | |
| All other uses | |

NOR-S1.5.5 - Area 5 (refer to Figure NOR-S1.2.1)

This clause is in substitution for General Industrial Zone – clause 19.2 Use Table.

| Use Class | Qualification |
|--|-------------------------------|
| No Permit Required | |
| Natural and Cultural Values Management | |
| Passive Recreation | |
| Utilities | If for minor utilities. |
| Permitted | |
| Residential | If for a home-based business. |
| Discretionary | |

| Use Class | Qualification |
|-------------------------------------|--|
| Business and Professional Services | If for an office. |
| Community Meeting and Entertainment | |
| Educational and Occasional Care | |
| Food Services | If for a restaurant. |
| General Retail and Hire | If for a gross floor area of not more than 250m ² . |
| Hotel Industry | |
| Tourist Operation | |
| Utilities | If not listed as No Permit Required. |
| Visitor accommodation | If for: (a) a holiday unit; or (b) a motel. |
| Prohibited | |
| All other uses | |

NOR-S1.5.6 - Area 6 (refer to Figure NOR-S1.2.1)

This clause is in substitution for General Industrial Zone – clause 19.2 Use Table.

| Use Class | Qualification |
|--|---|
| No Permit Required | |
| Natural and Cultural Values Management | |
| Passive Recreation | |
| Utilities | If for minor utilities. |
| Permitted | |
| Food Services | If for: (a) a restaurant; or (b) a takeaway shop. |
| Hotel Industry | |
| Utilities | If not listed as No Permit Required. |

| Use Class | Qualification |
|------------------------------------|--|
| Vehicle Fuel Sales and Service | If for a service station. |
| Discretionary | |
| Bulky Goods Sales | If for a showroom. |
| Business and Professional Services | If for an office. |
| General Retail and Hire | If for a gross floor area of not more than 250m ² . |
| Storage | If at 74 Evandale Road, Western Junction folio of the Register 150770/1, 86 Evandale Road, Western Junction folio of the Register 150770/2, or 2 Translink Avenue folio of the Register 50770/3. |
| Visitor Accommodation | If for a motel. |
| Prohibited | |
| All other uses | |

NOR-S1.5.7 - Area 7 (refer to Figure NOR-S1.2.1)

This clause is in substitution for Agriculture Zone – clause 19.2 Use Table.

| Use Class | Qualification |
|--|--|
| No Permit Required | |
| Natural and Cultural Values Management | |
| Passive Recreation | |
| Resource Development | If not for: <ul style="list-style-type: none"> (a) plantation forestry on prime agricultural land; (b) controlled environment agriculture on prime agricultural land; (c) intensive animal husbandry on prime agricultural land; (d) a dwelling; or (e) forestry or plantation forestry on non-prime agricultural land. |
| Utilities | If for existing uses and the curtilage does not increase by more than 30% as at 1 June 2013 and not located on prime agricultural land. |
| Permitted | |
| Business and Professional Services | If for a veterinary centre or similar specialist animal breeding or care services. |

| Use Class | Qualification |
|--|--|
| Domestic Animal Breeding, Boarding or Training | If not on prime agricultural land. |
| Community Meeting and Entertainment | If for existing premises used for public purposes. |
| Crematoria and Cemeteries | If for crematoria and not on prime agricultural land. |
| Extractive Industries | If not: <ul style="list-style-type: none"> (a) located on prime agricultural land; or (b) for a level 2 activity. |
| Use Class | Qualification |
| Food Services | If for existing uses and the curtilage does not increase by more than 30% as at 1 June 2013. |
| Hotel Industry | If for existing uses and the curtilage does not increase by more than 30% as at 1 June 2013. |
| Residential | If for existing uses or home-based business in an existing dwelling. |
| Resource Development | If : <ul style="list-style-type: none"> (a) not for plantation forestry on prime agricultural land; (b) not for controlled environment agriculture on prime agricultural land; or (c) not for animal husbandry on prime agricultural land; and (d) not listed as No Permit Required. |
| Resource Processing | If directly associated with produce from the subject site. |
| Sports and Recreation | If for existing uses and the curtilage does not increase by more than 30% as at 1 June 2013. |
| Visitor Accommodation | If for existing uses and the curtilage does not increase by more than 30% as at 1 June 2013. |
| Discretionary | |
| Bulky Goods Sales | If for rural supplies, landscape supplies and timber yard. |
| Business and Professional Services | If not listed as No Permit Required. |
| Educational and Occasional Care | If providing education services for the Resource Development use class. |
| Emergency Services | |
| Equipment and Machinery Sales and Hire | |

| Use Class | Qualification |
|---------------------------------|--|
| Extractive Industries | If not listed as Permitted. |
| Food Services | If not listed as Permitted. |
| General Retail and Hire | |
| Hotel Industry | If: (a) for cellar door sales, micro-breweries or micro distilleries; and (b) not listed as Permitted. |
| Motor Racing Facility | If not a new facility on prime agricultural land. |
| Recycling and Waste Disposal | |
| Research and Development | If directly associated with Resource Development. |
| Residential | If for single dwelling. |
| Resource Development | If not listed as No Permit Required or Permitted. |
| Resource Processing | If not listed as Permitted. |
| Service Industry | |
| Sports and Recreation | If not listed as Permitted. |
| Tourist Operation | |
| Transport Depot | |
| Utilities | If: (a) for existing uses on prime agricultural land; (b) not for existing uses; or (c) the curtilage increases by more than 30% from that existing at 1 June 2013. |
| Vehicle Fuels Sales and Service | |
| Visitor Accommodation | If not listed as Permitted. |
| Prohibited | |
| All other uses | |

NOR-S1.6 Use Standards

NOR-S1.6.1 External lighting

This clause is in addition to General Industrial Zone – clause 19.3.1 Discretionary uses and Agriculture Zone – clause 21.3.1 Discretionary uses.

| | | |
|-----------------------------|---|--|
| Objective: | That external lighting does not impact on the operational safety of the Launceston Airport. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | External lighting must be hooded and directed so as not to cause nuisance, threat or hazard to the operation of Launceston Airport. | P1 No Performance Criterion. |

NOR-S1.6.2 Environmental quality

This clause is in addition to General Industrial Zone – clause 19.3.1 Discretionary uses and Agriculture Zone – clause 21.3.1 Discretionary uses.

| | | |
|-----------------------------|---|--|
| Objective: | That development does not: (a) result in environmental harm to the local area; or (b) impact on the operational safety of the Launceston Airport. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | Emissions must not cause a hazard to the safe operation of Launceston Airport. | P1 No Performance Criterion. |
| A2 | Emissions must not cause a hazard to the residents in the Devon Hills Low Density Residential Zone. | P2 No Performance Criterion. |

NOR-S1.6.3 Residential use

This clause is in addition to General Industrial Zone – clause 19.3.1 Discretionary uses, Agriculture Zone – clause 21.3.1 Discretionary uses, and C16.5.1 Sensitive Use within an airport noise exposure area.

| | | |
|-----------------------------|--|--|
| Objective: | That airport operations are not adversely affected by residential use. | |
| Acceptable Solutions | | Performance Criteria |
| A1.1 | Residential use must be incidental to another use on-site; and | P1 No Performance Criterion. |
| A1.2 | Residential use must be incorporated into the main building; and | |

| | |
|---|--|
| <p>A1.3</p> <p>Development for residential use must meet <i>Australian Standard 2021 - 2000 Acoustics – Aircraft Noise Intrusion – Building Siting and Construction.</i></p> | |
|---|--|

NOR-S1.6.4 Liquid and solid fuel depot

This clause is in addition to General Industrial Zone – clause 19.3.1 Discretionary uses and Agriculture Zone – clause 21.3.1 Discretionary uses.

| | | |
|-----------------------------|---|--|
| Objective: | That airport operations are not adversely affected by liquid and solid fuel depots. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | The applicant must provide advice that the relevant airport safety authority has determined that the use will not pose a threat to the safety and amenity of the airport. | P1 No Performance Criterion. |

NOR-S1.6.5 General retail and hire

This clause is in addition to General Industrial Zone – clause 19.3.1 Discretionary uses and Agriculture Zone – clause 21.3.1 Discretionary uses.

| | | |
|-----------------------------|--|--|
| Objective: | That general retail and hire is of a scale suitable to the area. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | The gross floor area must not exceed 250m ² . | P1 No Performance Criterion. |

NOR-S1.6.6 Car parking numbers

This clause is in substitution for clause C2.5.1 Car Parking Numbers.

| | | |
|-----------------------------|---|---|
| Objective: | That adequate on-site parking is provided. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | The number of on-site car parking spaces must be no less than the number specified in Table C2.1, excluding if: (a) the site is subject to a parking plan for the area adopted by council, in which case parking | P1.1 The number of on-site car parking spaces for uses, excluding dwellings, must meet the reasonable needs of the use, having regard to: (a) the availability of off-street public car parking spaces within reasonable walking distance of the site; |

| | |
|--|---|
| <p>provision (spaces or cash-in-lieu) must be in accordance with that plan;</p> <p>(b) the site is contained within a parking precinct plan and subject to Clause C2.7;</p> <p>(c) it relates to an intensification of an existing use or development or a change of use where:</p> <p>(i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or</p> <p>(ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:</p> <p>(iii) $N = A + (C - B)$ N = Number of on-site car parking spaces required</p> <p>(iv) A = Number of existing on site car parking spaces</p> <p>(v) B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1</p> <p>(vi) C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1.</p> | <p>(b) the ability of multiple users to share spaces because of:</p> <p>(i) variations in car parking demand over time; or</p> <p>(ii) efficiencies gained by consolidation of car parking spaces;</p> <p>(c) the availability and frequency of public transport within reasonable walking distance of the site;</p> <p>(d) the availability and frequency of other transport alternatives;</p> <p>(e) any site constraints such as existing buildings, slope, drainage, vegetation and landscaping;</p> <p>(f) the availability, accessibility and safety of on-street parking, having regard to the nature of the roads, traffic management and other uses in the vicinity;</p> <p>(g) the effect on streetscape; and</p> <p>(h) any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development, or</p> <p>P1.2</p> <p>The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:</p> <p>(a) the nature and intensity of the use and car parking required;</p> <p>(b) the size of the dwelling and the number of bedrooms; and</p> <p>(c) the pattern of parking in the surrounding area.</p> <p>P1.3</p> <p>Within Area 5 (refer to Figure NOR-S1.2.1), the car parking requirement may be reduced where the discretion involves the protection of the heritage item or the recycling of heritage buildings for new uses and where Council deems that the car parking generated by the use and development can be effectively accommodated in some other way.</p> |
|--|---|

NOR-S1.7 Development Standards for Buildings and Works

NOR-S1.7.1 Building height

This clause is in substitution for General Industrial Zone – clause 19.4.1 Building height and Agriculture Zone – clause 21.4.1 Building height and in addition to clause C16.6.1 Buildings and works within an airport obstacle limitation area.

| Objective: | That: (a) the design of buildings and other works contributes to the development of an industrial estate set in a landscaped park-like setting; and (b) the safety of Launceston Airport is protected. |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Within Area 1 (refer to Figure NOR-S1.2.1), the maximum height of buildings and other works must not be more than 12m.</p> | <p>P1</p> <p>The maximum building height must be appropriate to the site, having regard to:</p> <ul style="list-style-type: none"> (a) the safety of Launceston Airport; and (b) the rural vistas viewed by users of Evandale Main Road. |
| <p>A2</p> <p>Within Area 2 (refer to Figure NOR-S1.2.1), the maximum height of buildings and other works must not be more than 12m.</p> | <p>P2</p> <p>The maximum building height must be appropriate to the site, having regard to:</p> <ul style="list-style-type: none"> (a) the safety of Launceston Airport; and (b) the rural vistas viewed by users of Evandale Main Road. |
| <p>A3</p> <p>Within Area 3 (refer to Figure NOR-S1.2.1), the maximum height of buildings and other works must not be more than 12m.</p> | <p>P3</p> <p>The maximum building height must be appropriate to the site, having regard to:</p> <ul style="list-style-type: none"> (a) the safety of Launceston Airport; and (b) the rural vistas viewed by users of Evandale Main Road. |
| <p>A4</p> <p>Within Area 4 (refer to Figure NOR-S1.2.1), the maximum height of buildings must not be more than 8m.</p> | <p>P4</p> <p>The maximum building height must be appropriate to the site, having regard to:</p> <ul style="list-style-type: none"> (a) the safety of Launceston Airport; (b) the heritage values of the Clairville historic site; and |

| | |
|---|---|
| | (c) the amenity of the area as a tourist gateway to Launceston and Evandale historic township. |
| <p>A5</p> <p>Within Area 5 (refer to Figure NOR-S1.2.1), the maximum height of buildings must not be more than 8m.</p> | <p>P5</p> <p>The maximum building height must be appropriate to the site, having regard to:</p> <p>(a) the safety of Launceston Airport;</p> <p>(b) the heritage values of the Clairville historic site; and</p> <p>(c) the amenity of the area as a tourist gateway to Launceston and Evandale historic township.</p> |
| <p>A6</p> <p>Within Area 6 (refer to Figure NOR-S1.2.1), the maximum height of buildings must not be more than 8m.</p> | <p>P6</p> <p>The maximum building height must be appropriate to the site, having regard to:</p> <p>(a) the safety of Launceston Airport;</p> <p>(b) the heritage values of the Clairville historic site; and</p> <p>(c) the amenity of the area as a tourist gateway to Launceston and Evandale historic township.</p> |

NOR-S1.7.2 Setback

This clause is in substitution for General Industrial Zone – clause 19.4.2 Setback and Agriculture Zone – clause 21.4.2 Setbacks.

| | |
|---|--|
| Objective: | That the siting and design of buildings and other works contributes to the development of an industrial estate set in a landscaped park-like setting. |
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Within Area 1 (refer to Figure NOR-S1.2.1), front, side and rear boundary setbacks for buildings or other works must be a minimum of:</p> <p>(a) 50m to the Evandale Main Road frontage;</p> <p>(b) 20m to the Distributor Road frontage;</p> <p>(c) 10m to an access road frontage;</p> <p>(d) 5m to the side boundary; and</p> <p>(e) 10m to the rear boundary.</p> | <p>P1</p> <p>Within Area 1 (refer to Figure NOR-S1.2.1), buildings must be setback from side and rear boundaries to contribute to a park-like setting, having regard to:</p> <p>(a) the topography of the site;</p> <p>(b) the size, shape and orientation of the site;</p> <p>(c) the setback of existing buildings on the site and adjoining properties;</p> <p>(d) the bulk and form of the building;</p> <p>(e) any existing screening or the ability to implement screening;</p> |

| | |
|---|---|
| | <p>(f) the operational requirements for the building; and</p> <p>(g) access and manoeuvring for vehicles associated with the use.</p> |
| <p>A2</p> <p>Within Area 2 (refer to Figure NOR-S1.2.1), front, side and rear boundary setbacks for buildings or other works must be a minimum of:</p> <p>(a) 30m to the Evandale Main Road frontage;</p> <p>(b) 20m to the Translink Avenue frontage;</p> <p>(c) 10m to an access road frontage;</p> <p>(d) 5m to the side boundary; and</p> <p>(e) 10m to the rear boundary.</p> | <p>P2</p> <p>The Translink Avenue setback may be varied if buildings on adjacent properties are at setbacks less than 20m.</p> |
| <p>A3</p> <p>Within Area 3 (refer to Figure NOR-S1.2.1), front, side and rear boundary setbacks for buildings or other works must be a minimum of:</p> <p>(a) 50m to the Evandale Main Road frontage;</p> <p>(b) 10m to an access road frontage;</p> <p>(c) 5m to the side boundary; and</p> <p>(d) 10m to the rear boundary.</p> | <p>P3</p> <p>No Performance Criterion.</p> |
| <p>A4</p> <p>Within Area 4 (refer to Figure NOR-S1.2.1), front, side and rear boundary setbacks for buildings or other works must be a minimum of:</p> <p>(a) 20m to the Evandale Main Road frontage;</p> <p>(b) 20m to the Distributor Road frontage;</p> <p>(c) 5m to the side boundary; and</p> <p>(d) 10m to the rear boundary.</p> | <p>P4</p> <p>No Performance Criterion.</p> |
| <p>A5</p> <p>Within Area 5 (refer to Figure NOR-S1.2.1), front, side and rear boundary setbacks for buildings or other works must be a minimum of:</p> <p>(a) 20m to the Evandale Main Road frontage;</p> <p>(b) 5m to the side boundary; and</p> | <p>P5</p> <p>No Performance Criterion.</p> |

| | |
|--|---|
| (c) 10m to the rear boundary. | |
| <p>A6</p> <p>Within Area 6 (refer to Figure NOR-S1.2.1), front, side and rear boundary setbacks for buildings or other works must be a minimum of:</p> <p>(a) 20m to the Evandale Main Road frontage;</p> <p>(b) 20m to the Distributor Road frontage;</p> <p>(c) 5m to the side boundary; and</p> <p>(d) 10m to the rear boundary.</p> | <p>P6</p> <p>For corner sites, one setback may be varied having regard to any existing setbacks on surrounding properties.</p> |

NOR-S1.7.3 Materials and presentation

This clause is in addition to General Industrial Zone – clause 19.4 Development Standards for Buildings and Works and Agriculture Zone – clause 21.4 Development Standards for Buildings and Works.

| | |
|---|---|
| Objective: | <p>To:</p> <p>(a) achieve a high quality of development by encouraging the use of a variety of architectural treatments, responding to the rural and landscaped setting and recognising the importance of the area as one of the tourist gateways to Launceston; and</p> <p>(b) require a high standard of development recognising the prominent location of the zone adjacent to the Airport and that Evandale Main Road is a tourist route.</p> |
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Within Areas 1, 2, 3 and 6 (refer to Figure NOR-S1.2.1), a variety of building forms must be used rather than single monolithic structures.</p> | <p>P1</p> <p>The use of a variety of materials or other techniques to help reduce the interpreted scale of the building.</p> |
| <p>A2</p> <p>Within Areas 1, 2, and 3 (refer to Figure NOR-S1.2.1), external walls and roofs must be in face brickwork, form concrete panels, painted or rendered concrete blocks or cement composite sheets or metal clad with a patented pre-treated finish such as colorbond.</p> | <p>P2</p> <p>No Performance Criterion.</p> |
| <p>A3</p> <p>Within Areas 4, 5, and 6 (refer to Figure NOR-S1.2.1), construction must be of masonry and/or brick.</p> | <p>P3</p> <p>The amenity and visual quality of the area must not be adversely affected.</p> |

| | |
|---|---|
| <p>A4</p> <p>Within Areas 4, 5, and 6 (refer to Figure NOR-S1.2.1), developments must be designed and located to minimise visual impact from Evandale Main Road.</p> | <p>P4</p> <p>No Performance Criterion.</p> |
| <p>A5</p> <p>Within Areas 4, 5, and 6 (refer to Figure NOR-S1.2.1), colours must be muted and in tones compatible with the rural and landscaped setting of the area.</p> | <p>P5</p> <p>No Performance Criterion.</p> |

NOR-S1.7.4 Site coverage

This clause is in addition to General Industrial Zone – clause 19.4 Development Standards for Buildings and Works and Agriculture Zone – clause 21.4 Development Standards for Buildings and Works.

| | |
|---|--|
| <p>Objective:</p> | <p>That the siting and design of buildings and other works contributes to the development of an industrial estate set in a landscaped park-like setting.</p> |
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>Site coverage for a site with an area less than 1,500m² must be:</p> <p>(a) buildings and covered storage – maximum 50%; and</p> <p>(b) landscaped area – minimum 10%.</p> | <p>P1</p> <p>No Performance Criterion.</p> |
| <p>A2</p> <p>Site coverage for a site with an area between 1500m² – 2000m² must be:</p> <p>(a) buildings and covered storage – maximum 55%; and</p> <p>(b) landscaped area – minimum 10%.</p> | <p>P2</p> <p>No Performance Criterion.</p> |
| <p>A3</p> <p>Site coverage for a site with an area greater than 2000m² and less than 5000m² must be:</p> <p>(a) buildings and covered storage – maximum 60%; and</p> <p>(b) landscaped area – minimum 10%.</p> | <p>P3</p> <p>No Performance Criterion.</p> |

| | |
|---|---|
| <p>A4</p> <p>Site coverage for a site with an area 5000m² or greater must be:</p> <p>(a) buildings and covered storage – maximum 65%; and</p> <p>(b) landscaped area – minimum 10%.</p> | <p>P4</p> <p>No Performance Criterion.</p> |
|---|---|

NOR-S1.7.5 Open space and landscaping

This clause is in substitution for General Industrial Zone – clause 19.4.3 Landscaping and in addition to Agriculture Zone – clause 20.4 Development Standards for Buildings and Works.

| <p>Objective:</p> | <p>That open space and landscaping form an integral part of developments to:</p> <p>(a) facilitate the enhanced appearance of buildings and works;</p> <p>(b) provide screening;</p> <p>(c) separate activities;</p> <p>(d) assist in the control of water run-off and erosion;</p> <p>(e) contribute to a reduction in noise levels; and</p> <p>(f) define roads and provide opportunities for passive recreation.</p> |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Within Area 1 (refer to Figure NOR-S1.2.1), the following setback distance must be used for landscaping, excluding those areas sealed for driveway access:</p> <p>(a) 20m from Evandale Main Road;</p> <p>(b) 7m from the Distributor Road; and</p> <p>(c) 3m from an access road.</p> | <p>P1</p> <p>The specified depth of a landscaping area between the setback line and a road frontage may be reduced by up to 30%, having regard to:</p> <p>(a) the creation and maintenance of vegetative screening of buildings and works that would otherwise be visible from the adjoining road;</p> <p>(b) the mature height, density, form, hardiness and suitability to the locality of plant species used for landscaping;</p> <p>(c) the height of mounding;</p> <p>(d) the height of buildings and the extent of works;</p> <p>(e) the effect on stormwater management; and</p> <p>(f) the contribution to achieving objectives (a)-(f) above.</p> |

| | |
|--|--|
| <p>A2</p> <p>Within Area 2 (refer to Figure NOR-S1.2.1), the following setback distance must be used for landscaping, excluding those areas sealed for driveway access:</p> <p>(a) 10m from Evandale Main Road;</p> <p>(b) 7m from the Distributor Road; and</p> <p>(c) 3m from an access road.</p> | <p>P2</p> <p>The setback from the Distributor Road may be varied if the setback on adjoining properties is at a setback less than 7m.</p> |
| <p>A3</p> <p>Within Area 3 (refer to Figure NOR-S1.2.1), the following setback distance must be used for landscaping, excluding those areas sealed for driveway access:</p> <p>(a) 20m from Evandale Main Road; and</p> <p>(b) 3m from an access road.</p> | <p>P3</p> <p>No Performance Criterion.</p> |
| <p>A4</p> <p>Within Area 4 (refer to Figure NOR-S1.2.1), the following setback distance must be used for landscaping, excluding those areas sealed for driveway access:</p> <p>(a) 10m from Evandale Main Road.</p> | <p>P4</p> <p>No Performance Criterion.</p> |
| <p>A5</p> <p>Within Area 5 (refer to Figure NOR-S1.2.1), the following setback distance must be used for landscaping, excluding those areas sealed for driveway access:</p> <p>(a) 10m from Evandale Main Road.</p> | <p>P5</p> <p>No Performance Criterion.</p> |
| <p>A6</p> <p>Within Area 6 (refer to Figure NOR-S1.2.1), the following setback distance must be used for landscaping, excluding those areas sealed for driveway access:</p> <p>(a) 10m from Evandale Main Road.</p> | <p>P6</p> <p>No Performance Criterion.</p> |
| <p>A7</p> <p>Within Areas 1, 2, 3, 4, 5, 6 and 7 (refer to Figure NOR-S1.2.1), landscaping must:</p> | <p>P7</p> <p>No Performance Criterion.</p> |

| | |
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| <p>(a) be provided for development of vacant land or where landscaping has not previously been undertaken; and</p> <p>(b) be provided with an automated watering system.</p> | |
| <p>A8</p> <p>Within Areas 1, 2, and 3 (refer to Figure NOR-S1.2.1), landscaping of sites adjacent to Evandale Main Road must incorporate mounding into the landscaping and must conform to a comprehensive landscape plan approved by Council.</p> | <p>P8</p> <p>Landscaping provides effective screening of buildings and works from Evandale Main Road.</p> |

NOR-S1.7.6 Outdoor storage areas

This clause is in addition to General Industrial Zone – clause 19.4 Development Standards for Buildings and Works, Agriculture Zone – clause 21.4 Development Standards for Buildings and Works.

| | |
|---|---|
| <p>Objective:</p> | <p>That the siting and design of buildings and other works contributes to the development of an industrial estate set in a landscaped park-like setting.</p> |
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>Storage areas must be at the rear of buildings and/or where they are not visible from any public road. If site constraints or other circumstances exist, Council may require additional landscaping and/or mounding to screen outside storage areas.</p> | <p>P1</p> <p>If outside storage areas require screening from adjacent roads, suggested methods of screening include a wall, landscaped earth mound or dense screen planting.</p> |
| <p>A2.1</p> <p>Outside storage areas must be sealed and drained; or</p> <p>A2.2</p> <p>Outside storage areas must be of compacted gravel and drained so that stormwater is discharged from the site in a manner that will not cause siltation or pollution of any stormwater detention or retention basins.</p> | <p>P2</p> <p>No Performance Criterion.</p> |

NOR-S1.7.7 Fencing

This clause is in addition to General Industrial Zone – clause 19.4 Development Standards for Buildings and Works, Agriculture Zone – clause 21.4 Development Standards for Buildings and Works.

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| Objective: | That the siting and design of buildings and other works contributes to the development of an industrial estate set in a landscaped park-like setting. | |
| Acceptable Solutions | | Performance Criteria |
| A1.1 | Security fencing must be located behind the front boundary landscaped area; or | P1 No Performance Criterion. |
| A1.2 | Security fencing, including posts and gates, must be of dark colours. | |

NOR-S1.7.8 Stormwater

This clause is in addition to General Industrial Zone – clause 19.4 Development Standards for Buildings and Works and Rural Zone – clause 21.4 Development Standards for Buildings and Works.

| | | |
|-----------------------------|--|--|
| Objective: | That full utility services are available to new development. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | The flow rate of stormwater outside the boundaries of the title must be not greater than if the land was used for rural purposes. On-site detention devices must be incorporated in the development. | P1 Stormwater may only be discharged from the site in a manner that will not cause an environmental nuisance, and that prevents erosion, siltation or pollution of any waterways, coastal lagoons, coastal estuaries, wetlands or inshore marine areas, having regard to: (a) the intensity of runoff that already occurs on the site before any development has occurred for a storm event of 1% Annual Exceedance Probability (pre-development levels); and (b) how the additional runoff and intensity of runoff that will be created by the subdivision for a storm event of 1% Annual Exceedance Probability, will be released at levels that are the same as those identified at the pre-development levels of the subdivision; and (c) whether any on-site storage devices, retention basins or other Water Sensitive Urban Design (WSUD) techniques are required within the |

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| | <p>subdivision and the appropriateness of their location; and</p> <p>(d) overland flow paths for overflows during extreme events both internally and externally for the subdivision, so as to not cause a nuisance.</p> |
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NOR-S1.7.9 Parking and internal circulation

This clause is in substitution for clause C2.6.1 Construction of parking areas (a) and (b) and clause C2.6.2 Design and layout of parking areas A1.1 (a) (ii) and (a) (iii).

| Objective: | That on-site parking, loading/unloading areas and traffic circulation space are constructed to an appropriate standard, and that parking areas are designed and laid out to provide convenient, safe and efficient parking. |
|---|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Vehicles must be able to enter and exit the site in a forward direction.</p> | <p>P1</p> <p>No Performance Criterion.</p> |
| <p>A2</p> <p>Access drives must have a minimum width of 3.6m for one-way traffic and 7m for two-way traffic.</p> | <p>P2</p> <p>No Performance Criterion.</p> |
| <p>A3</p> <p>Access drives, parking, manoeuvring, loading and unloading areas must be sealed and drained.</p> | <p>P3</p> <p>Access drives, parking, manoeuvring, loading and unloading areas may be of compacted gravel providing that stormwater is discharged from the site in a manner that will not cause an environmental nuisance, and that prevents erosion, siltation or pollution of any stormwater detention or retention basins, waterways, coastal lagoons, coastal estuaries, wetlands or inshore marine areas, having regard to:</p> <p>(a) the intensity of runoff that already occurs on the site before any development has occurred for a storm event of 1% Annual Exceedance Probability (pre-development levels);</p> <p>(b) how the additional runoff and intensity of runoff that will be created by the development for a storm event of 1% Annual Exceedance Probability will be released at levels that are the same as those identified at the predevelopment levels;</p> |

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| | <p>(c) whether any on-site storage devices, retention basins or other Water Sensitive Urban Design (WSUD) techniques are required for the development and the appropriateness of their location; and</p> <p>(d) overland flow paths for overflows during extreme events both internally and externally for the development, so as to not cause a nuisance.</p> |
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NOR-S1.7.10 Buffer areas

This clause is in addition to General Industrial Zone – clause 19.4 Development Standards for Buildings and Works, Agriculture Zone – clause 21.4 Development Standards for Buildings and Works.

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| Objective: | That industrial development does not adversely impact on the amenity of the Devon Hills residential area. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | Development of those sites closest to the Devon Hills residential area must incorporate a landscaped area along the rear boundary. | P1 No Performance Criterion. |
| A2 | Development of those sites closest to the Devon Hills residential area must incorporate effective screening measures for all outside storage areas. | P2 No Performance Criterion. |
| A3 | Development of those sites closest to the Devon Hills must demonstrate how noise emissions will be managed so that at the boundaries of the nearest house they do not exceed 40 dB(A) between the hours of 7:00am and 7:00pm and 35 dB(A) between the hours of 7:00pm and 7:00am. | P3 No Performance Criterion. |

NOR-S1.7.11 Heritage

This clause is in addition to General Industrial Zone – clause 19.4 Development Standards for Buildings and Works.

| Objective: | To recognise and protect the cultural heritage significance of the Clairville historic site and to provide for future development that is compatible with the identified values. |
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| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Developments within 100m of the historic Clairville property contained on Folio of the Register 108432/1, must be sympathetic to the cultural significance of the site and Council may require additional landscaping, mounding or other measures to ameliorate potential impacts.</p> | <p>P1</p> <p>No Performance Criterion.</p> |

NOR-S1.8 Development Standards for Subdivision

NOR-S1.8.1 Subdivision

This clause is in substitution for General Industrial Zone – clause 19.5 Development Standards for Subdivision and Agriculture Zone – clause 21.5 Development Standards for Subdivision.

| Objective: | <p>That:</p> <p>(a) the area and dimension of lots are appropriate for the zone; and</p> <p>(b) each lot has road access, sewerage, water, stormwater, energy and communication services appropriate for the zone.</p> |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1.1</p> <p>Within Area 1, excluding Area 1 - small lots, (refer to Figure NOR-S1.2.1), there must be:</p> <p>(a) a lot density of 1 lot per 10,000m² over the area being subdivided; and</p> <p>(b) a minimum lot size of 5000m²; and</p> <p>(c) frontage to a road of 50m; or</p> <p>A1.2</p> <p>The lot must be transferred to Council or other Government bodies for the provision of services; or</p> <p>A1.3</p> | <p>P1</p> <p>Within Area 1, excluding Area 1 - small lots, (refer to Figure NOR-S1.2.1), a proposed lot on a plan of subdivision must have:</p> <p>(a) a minimum area of 3000m²; and</p> <p>(b) frontage to a road of at least 9m; or</p> <p>P1.2</p> <p>Within Area 1 - small lots, each lot, or a lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <p>(a) the relevant requirements for development of buildings on the lot;</p> |

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| <p>Within Area 1 - small lots (refer to Figure NOR-S1.2.1), each lot, or a lot proposed in a plan of subdivision, must:</p> <ul style="list-style-type: none"> (a) have an area of not less than 2000m²; (b) be required for public use by the Crown, a council or a State authority; (c) be required for the provision of Utilities; or (d) be for the consolidation of a lot with another lot provided each lot is within the same zone. | <ul style="list-style-type: none"> (b) existing buildings and the intended location of new buildings on the lot; and (c) the topography of the site. |
| <p>A2.1</p> <p>Within Area 2 (refer to Figure NOR-S1.2.1), there must be:</p> <ul style="list-style-type: none"> (a) a lot density of 1 lot per 5000m² over the area being subdivided; and (b) a minimum lot size of 2000m²; and (c) frontage to a road of 25m; or <p>A2.2</p> <p>The lot must be transferred to Council or other Government bodies for the provision of services.</p> | <p>P2</p> <p>Within Area 2 (refer to Figure NOR-S1.2.1), a proposed lot on a plan of subdivision must have:</p> <ul style="list-style-type: none"> (a) a minimum area of 1000m²; and (b) frontage to a road of at least 6m. |
| <p>A3.1</p> <p>Within Area 3 (refer to Figure NOR-S1.2.1), there must be:</p> <ul style="list-style-type: none"> (a) a lot density of 1 lot per 10,000m² over the area being subdivided; and (b) a minimum lot size of 5000m²; and (c) frontage to a road of 50m; or <p>A3.2</p> <p>The lot must be transferred to Council or other Government bodies for the provision of services.</p> | <p>P3</p> <p>Within Area 3 (refer to Figure NOR-S1.2.1), a proposed lot on a plan of subdivision must have:</p> <ul style="list-style-type: none"> (a) a minimum area of 3000m²; and (b) frontage to a road of at least 9m. |
| <p>A4.1</p> <p>Within Area 4 (refer to Figure NOR-S1.2.1), there must be:</p> <ul style="list-style-type: none"> (a) a lot density of 1 lot per 2000m² over the total area being subdivided; and (b) a minimum lots size of 1000m²; and (c) frontage to a road of 8m; or | <p>P4</p> <p>Within Area 4 (refer to Figure NOR-S1.2.1), a proposed lot on a plan of subdivision must have:</p> <ul style="list-style-type: none"> (a) a minimum area of 550m²; and (b) frontage to a road of at least 6m. |

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| <p>A4.2</p> <p>The lots must be transferred to Council or other Government bodies for the provision of services.</p> | |
| <p>A5</p> <p>Area 5 (refer to Figure NOR-S1.2.1) - No Acceptable Solution.</p> | <p>P5</p> <p>Within Area 5 (refer to Figure NOR-S1.2.1), a proposed lot on a plan of subdivision must have:</p> <ul style="list-style-type: none"> (a) a minimum area of 550m²; and (b) frontage to a road of at least 6m. |
| <p>A6</p> <p>Area 6 (refer to Figure NOR-S1.2.1) - No Acceptable Solution.</p> | <p>P6</p> <p>Area 6 (refer to Figure NOR-S1.2.1) – No Performance Criterion.</p> |
| <p>A7</p> <p>Within Area 7 (refer to Figure NOR-S1.2.1) lots must be:</p> <ul style="list-style-type: none"> (a) for the provision of utilities and required for public use by the Crown, public authority or a Council; (b) for the consolidation of a lot with another lot with no additional titles created; or (c) to align existing titles with zone boundaries and with no additional lots created. | <p>P7</p> <p>Within Area 7 (refer to Figure NOR-S1.2.1) the subdivision:</p> <ul style="list-style-type: none"> (a) must demonstrate that the productive capacity of the land will be improved as a result of the subdivision; or (b) is for the purpose of creating a lot for an approved non-agricultural use, other than a residential use, and the productivity of the land will not be materially diminished. |
| <p>A8</p> <p>Roads must accord with the layout in Figure NOR-S1.8.1 and meet the following specifications:</p> <ul style="list-style-type: none"> (a) Evandale Main Road - 42m wide road reservation; (b) the Distributor Road - 30m wide road reservation; (c) the design of the Distributor Road must be in accordance with the cross-section provided in Figure NOR-S1.8.2; (d) access roads connecting to distributor roads must have a 20m wide road reservation and carriageway width must be not less than 11m; (e) a permanent cul-de-sac must have a turning circle of not less than 25m diameter at the kerb; and | <p>P8</p> <p>The location of the open swale drain may be changed if the stormwater drainage can be accommodated by other means to the satisfaction of Council.</p> |

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|--|---|
| <p>(f) the distributor road reserve must contain an open swale drain to collect all stormwater on the west side of the road.</p> | |
| <p>A9</p> <p>The Plan of Subdivision must provide for the drainage of both roads and other land to be satisfactorily carried off and disposed of in accordance with Figures NOR-S1.8.2 and NOR-S1.8.3.</p> | <p>P9</p> <p>No Performance Criterion.</p> |
| <p>A10</p> <p>On-site detention devices must be incorporated in the development so that the flow rate of stormwater outside the boundaries of the title is not greater than if the land was used for rural purposes.</p> | <p>P10</p> <p>Stormwater may only be discharged from the site in a manner that will not cause an environmental nuisance, and that prevents erosion, siltation or pollution of any waterways, coastal lagoons, coastal estuaries, wetlands or inshore marine areas, having regard to:</p> <ul style="list-style-type: none"> (a) the intensity of runoff that already occurs on the site before any development has occurred for a storm event of 1% Annual Exceedance Probability (pre-development levels); and (b) how the additional runoff and intensity of runoff that will be created by the subdivision for a storm event of 1% Annual Exceedance Probability will be released at levels that are the same as those identified at the pre-development levels of the subdivision; and (c) whether any on-site storage devices, retention basins or other Water Sensitive Urban Design (WSUD) techniques are required within the subdivision and the appropriateness of their location; and (d) overland flow paths for overflows during extreme events both internally and externally for the subdivision, so as to not cause a nuisance. |
| <p>A11</p> <p>The Plan of Subdivision must not include:</p> <ul style="list-style-type: none"> (a) blind roads; (b) alleys or rights-of-way to give access to the rear of lots; (c) littoral or riparian reserves; | <p>P11</p> <p>No Performance Criterion.</p> |

| | |
|--|--|
| <p>(d) private roads, ways or open spaces;</p> <p>(e) public open space; and</p> <p>(f) any lot which requires the construction of an embankment to a highway which requires a licence under the <i>Highways Act 1951</i>.</p> | |
| <p>A12</p> <p>The following services must be provided to each lot:</p> <p>(a) a reticulated water supply;</p> <p>(b) a reticulated sewerage system;</p> <p>(c) a reticulated stormwater system;</p> <p>(d) underground electricity supply;</p> <p>(e) street lighting;</p> <p>(f) sealed roads; and</p> <p>(g) sealed crossovers.</p> | <p>P12</p> <p>No Performance Criterion.</p> |
| <p>A13</p> <p>Archaeological investigations relating to Aboriginal relics must be carried out when preparing the initial 'Plan of Subdivision' for an area.</p> | <p>P13</p> <p>No Performance Criterion.</p> |

NOR-S1.9 Tables

This sub-clause is not used in this specific area plan.

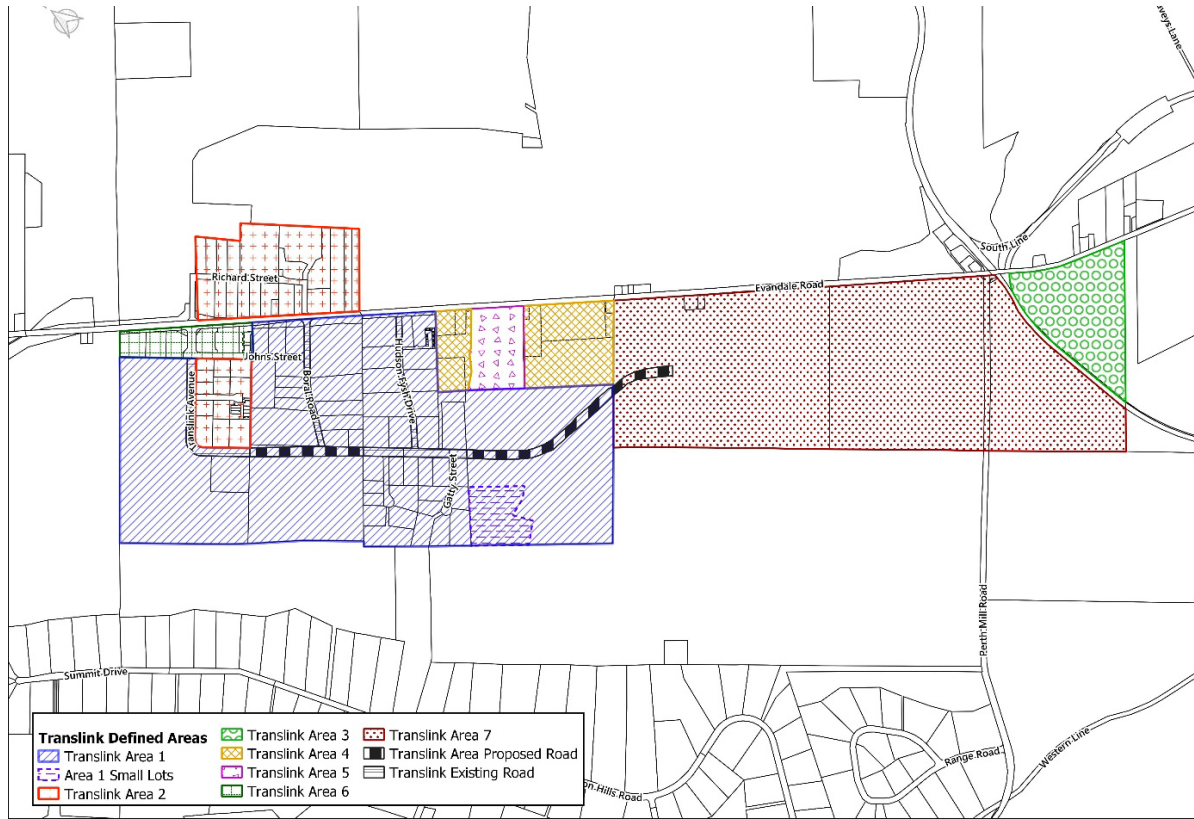


Figure NOR-S1.2.1 Translink Specific Area Plan showing location of Areas 1 to 7 as required by clauses NOR-S1.2, NOR-S1.5.1, NOR-S1.5.2, NOR-S1.5.3, NOR-S1.5.4, NOR-S1.5.5, NOR-S1.5.6, NOR-S1.5.7, NOR-S1.6.6, NOR-S1.7.1, NOR-S1.7.2, NOR-S1.7.3, NOR-S1.7.5, and NOR-S1.8.1.

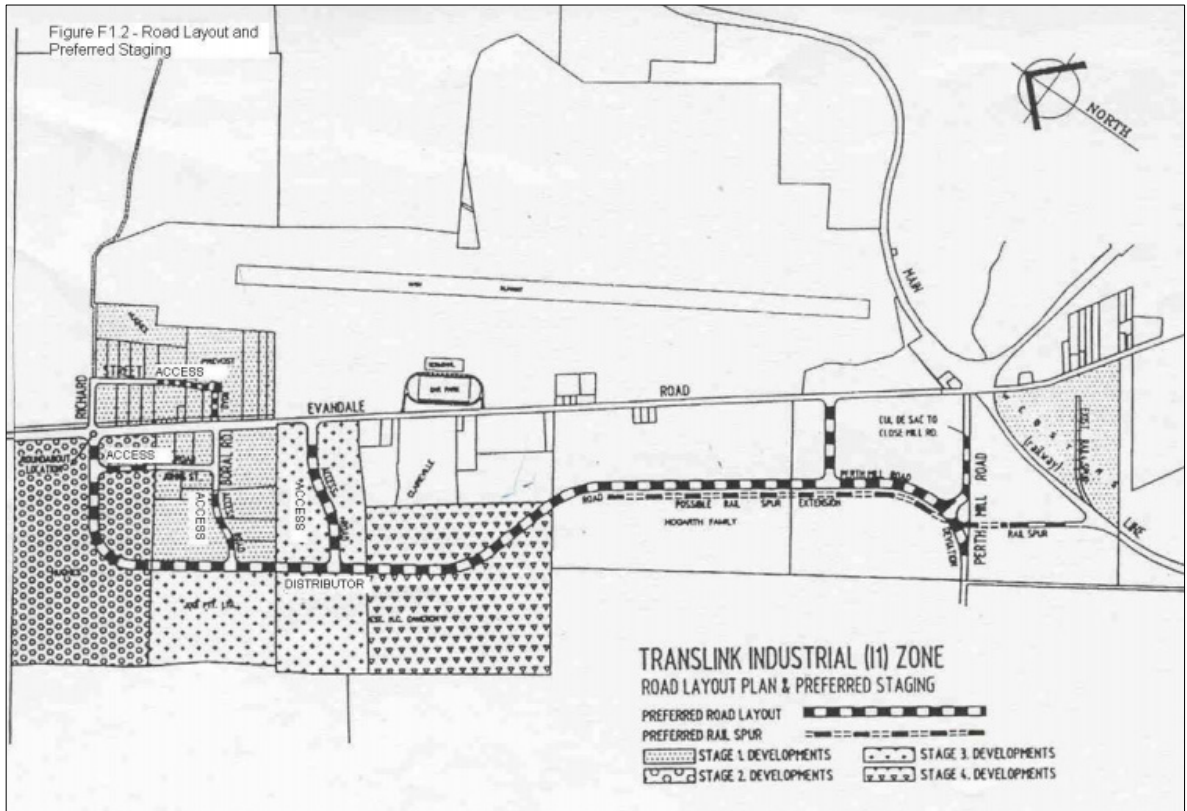


Figure NOR-S1.8.1 Road layout plan as required by clause NOR-S1.8.1

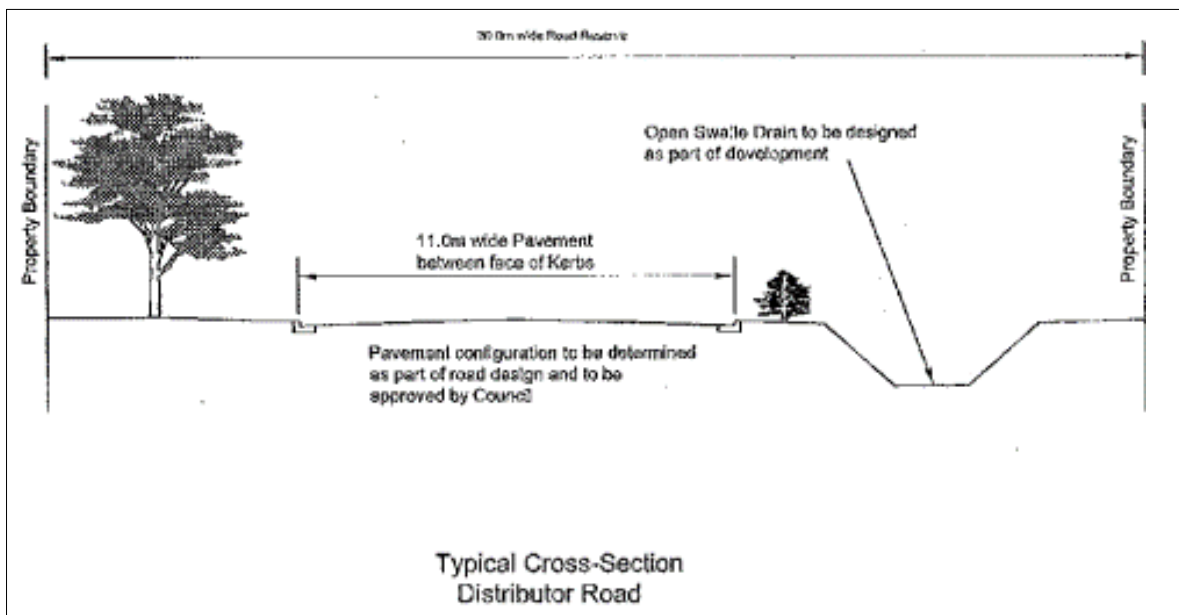
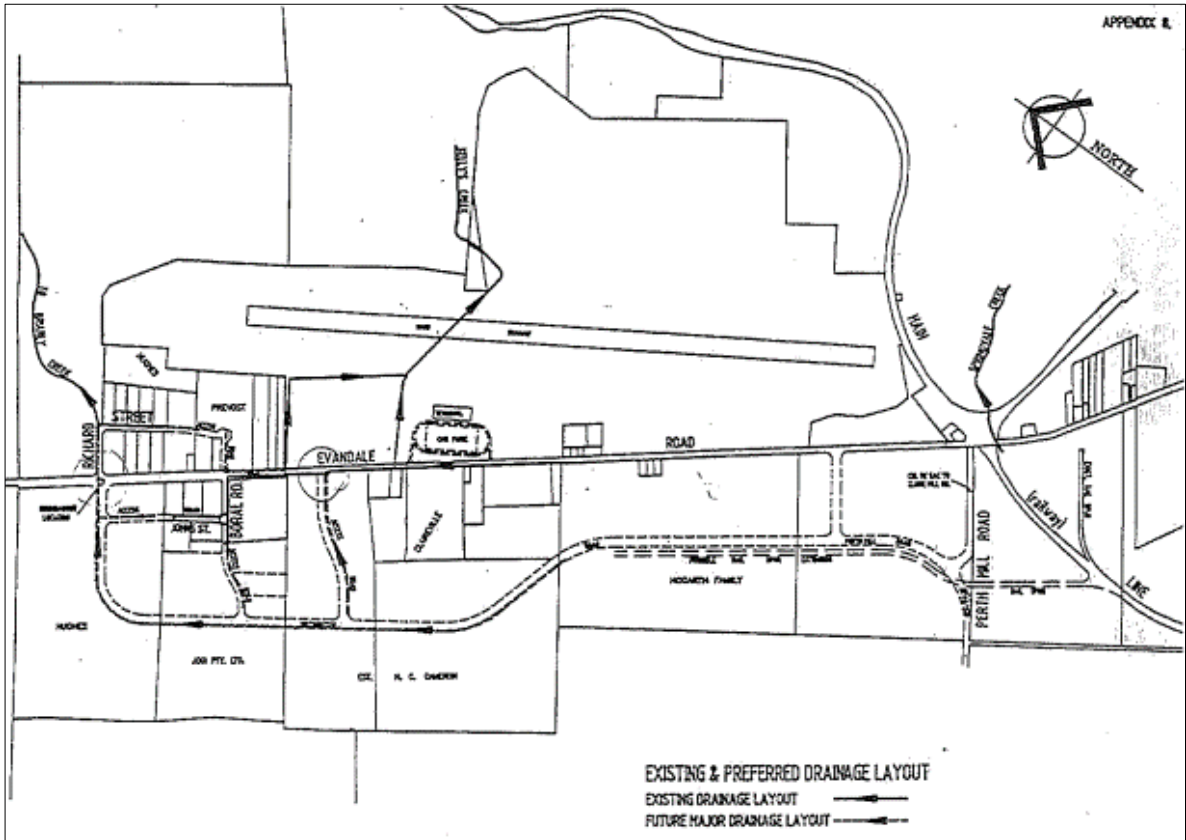


Figure NOR-S1.8.2 Typical cross-section distributor road as required by clause NOR-S1.8.1



NOR-S1.8.3 Drainage layout plan as required by clause NOR-S1.8.1

NOR-S2.0 Campbell Town Specific Area Plan

NOR-S2.1 Plan Purpose

The purpose of the Campbell Town Specific Area Plan is:

- NOR-S2.1.1 To provide for residential use and development that is compatible with the existing rural township character.
- NOR-S2.1.2 To encourage use and development that promotes a vibrant main street and high quality public open space conducive for visitor stop overs.
- NOR-S2.1.3 To encourage the provision of visitor accommodation and community facilities that support annual events and promotes Campbell Town as a meeting centre.
- NOR-S2.1.4 To provide for road transport and recreational vehicle parking.
- NOR-S2.1.5 To provide for the subdivision of key development sites and provide for appropriately located public open space.
- NOR-S2.1.6 To encourage subdivision that provides for large lots and minimises internal lots.
- NOR-S2.1.7 That as part of any new subdivision new trees are provided to increase the township's tree canopy cover.

NOR-S2.2 Application of this Plan

- NOR-S2.2.1 The specific area plan applies to the area of land designated as NOR-S2.0 Campbell Town Specific Area Plan on the overlay maps and Figure NOR-S2.2.1.
- NOR-S2.2.2 Precinct Plan NOR-S2.2.2 applies to the area of land designated as William Street Development Precinct Masterplan in Figure NOR-S2.2.2.
- NOR-S2.2.3 Precinct Plan NOR-S2.2.3 applies to the area of land designated as Franklin and Bedford Streets Development Precinct Masterplan in Figure NOR-S2.2.3
- NOR-S2.2.4 In the area of land this plan applies to, the provisions of the specific area plan are in substitution for, and in addition to the provisions of:
 - (a) General Residential Zone;
 - (b) Low Density Residential Zone;
 - (c) Open Space Zone; and
 - (d) Local Historic Heritage Code,as specified in the relevant provision.

NOR-S2.3 Local Area Objectives

This sub-clause is not used in this specific area plan.

NOR-S2.4 Definition of Terms

This sub-clause is not used in this specific area plan.

NOR-S2.5 Use Table

This clause is in substitution for Low Density Residential Zone – clause 10.2 Use Table.

| Use Class | Qualification |
|--|--|
| No Permit Required | |
| Natural and Cultural Values Management | |
| Passive Recreation | |
| Residential | If for a single dwelling. |
| Utilities | If for minor utilities. |
| Permitted | |
| Residential | If for a home based business. |
| Visitor Accommodation | |
| Discretionary | |
| Business and Professional Services | If for a consulting room, medical centre, veterinary centre, child health clinic or for the provision of residential support services. |
| Community Meeting and Entertainment | If for a place of worship, art and craft centre or public hall. |
| Educational and Occasional Care | If not for a tertiary institution. |
| Emergency Services | |
| Food Services | If not for a take away food premises with a drive through facility. |
| General Retail and Hire | If for a local shop. |
| Sports and Recreation | If for a fitness centre, gymnasium, public swimming pool or sports ground. |
| Utilities | If not listed as No Permit Required. |
| Prohibited | |
| All other uses | |

NOR-S2.6 Use Standards

This sub-clause is not used in this specific area plan.

NOR-S2.7 Development Standards for Buildings and Works

NOR-S2.7.1 Residential density for multiple dwellings

This clause is in substitution for General Residential Zone – clause 8.4.1 Residential density for multiple dwellings.

| Objective: | <p>That the density of multiple dwellings:</p> <ul style="list-style-type: none"> (a) makes efficient use of land for housing; (b) is compatible with the rural township character of Campbell Town; and (c) optimises the use of infrastructure and community services. |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Multiple dwellings must have a site area per dwelling of not less than 400m².</p> | <p>P1</p> <p>Multiple dwellings must only have a site area per dwelling that is less than 400m², if the development will not exceed the capacity of infrastructure services and:</p> <ul style="list-style-type: none"> (a) is compatible with the density of existing development on established properties within the area; or (b) provides for a significant social or community benefit and is: <ul style="list-style-type: none"> (i) wholly or partly within 400m walking distance of a public transport stop; or (ii) wholly or partly within 400m walking distance of a Village Zone, Local Business Zone, or General Business Zone; or (iii) wholly or partly within 400m walking distance of public open space. |

NOR-S2.8 Development Standards for Subdivision

NOR-S2.8.1 Lot design in development precincts

This clause is in addition to General Residential Zone – clause 8.6.1 Lot design, Low Density Residential Zone – clause 10.6.1 Lot design, Open Space Zone – clause 29.5.1 Lot design, and in substitution for Local Historic Heritage Code clause C6.10.2 Lot design for a Local Heritage Precinct or a Local Historic Landscape Precinct.

| Objective: | That each development precinct creates an efficient lot design that provides connectivity and optimal location for public open space compatible with the rural township character. |
|--|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be in accordance with the applicable lot layout shown in the precinct masterplans in Figures NOR-S2.2.2 and NOR-S2.2.3.</p> | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be consistent with the rural township character and provide an optimal location for public open space, having regard to:</p> <ul style="list-style-type: none"> (a) lot layout shown in the applicable precinct masterplans in Figures NOR-S2.2.2 and NOR-S2.2.3; (b) the road network as north south grid; (c) fronting new lots onto existing roads where possible; (d) minimising cul-de-sacs; (e) the provision of public open spaces that facilitate pedestrian loops around the town; (f) creating connections between new and existing public open spaces; (g) creating road frontages around public open spaces; (h) using public open spaces for stormwater detention; (i) the relevant requirements for development of buildings on the lots; (j) the intended location of buildings on the lots; and (k) the pattern of development existing on established properties within the area. |

NOR-S2.8.2 Lot design

This clause is in substitution for General Residential Zone – clause 8.6.1 Lot design.

| Objective: | <p>That each lot:</p> <ul style="list-style-type: none"> (a) has an area and dimensions appropriate for the use and development; (b) is provided with appropriate access to a road; (c) contains areas which are suitable for development appropriate to the purpose of the zone and specific area plan, located to avoid natural hazards; and (d) is oriented to provide solar access for future dwellings. |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must:</p> <ul style="list-style-type: none"> (a) have an area of not less than 600m² and: <ul style="list-style-type: none"> (i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of: <ul style="list-style-type: none"> a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and (ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; or (b) be required for public use by the Crown, a council or a State authority; or (c) be required for the provisions of Utilities; or (d) be for the consolidation of a lot with another lot provided each lot is within the same zone. | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) the relevant requirements for development of buildings on the lots; (b) the intended location of buildings on the lots; (c) the topography of the site; (d) the presence of any natural hazards; (e) adequate provision of private open space; and (f) the pattern of development existing on established properties within the area. |

NOR-S2.8.3 Internal lots

This clause is an addition to General Residential Zone – clause 8.6.1 Lot design.

| <p>Objective:</p> | <p>That subdivision layout of land outside the precinct masterplans in Figures NOR-S2.2.2 and NOR-S2.2.3:</p> <ul style="list-style-type: none"> (a) minimises internal lots; (b) is consistent with existing patterns of residential development in the surrounding area; and (c) retains the rural township character. |
|---|---|
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>No Acceptable Solution.</p> | <p>P1</p> <p>Each internal lot, or an internal lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) consistency with existing patterns of residential development of the surrounding area; (b) the lot gaining access from a road existing prior to the planning scheme coming into effect; (c) site constraints making an internal lot configuration the only reasonable option to efficiently use the land; (d) the lot contributing to the more efficient use of residential land and infrastructure; (e) the amenity of adjacent lots not being unreasonably affected by subsequent development and use; (f) the lot having access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m; (g) passing bays being provided at appropriate distances to service the likely future use of the lot; (h) the access strip being adjacent to or combined with no more than three other internal lot access strips provided that it is otherwise not appropriate to provide access via a public road; (i) the lot addressing and providing for passive surveillance of public open space and public rights of way if it fronts such public spaces; |

| | |
|--|--|
| | <ul style="list-style-type: none"> (j) the relevant requirements for development of buildings on the lots; (k) the intended location of buildings on the lots; (l) the topography of the site; (m) the presence of any natural hazards; (n) adequate provision of private open space; and (o) the pattern of development existing on established properties in the area. |
|--|--|

NOR-S2.8.4 Roads

This clause is in substitution for General Residential Zone – clause 8.6.2 Roads and Low Density Residential Zone – clause 10.6.2 Roads.

| | |
|-------------------|--|
| Objective: | <p>That the arrangement of new roads within a subdivision provides for:</p> <ul style="list-style-type: none"> (a) safe, convenient and efficient connections to assist accessibility and mobility of the community; (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; (c) adequate areas for the planting of street trees in the road reserve; and (d) the efficient ultimate subdivision of the entirety of the land and of surrounding land. |
|-------------------|--|

| Acceptable Solutions | Performance Criteria |
|--|--|
| <p>A1</p> <p>The subdivision includes no new roads.</p> | <p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <ul style="list-style-type: none"> (a) any road network plan adopted by the council; (b) the existing and proposed road hierarchy; (c) the need for connecting roads and pedestrian and cycling paths to common boundaries with adjoining land to facilitate future subdivision potential; (d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; (e) minimising the travel distance between key destinations such as shops and services and public transport routes; |

| | |
|---|---|
| | <ul style="list-style-type: none"> (f) access to public transport; (g) the efficient and safe movement of pedestrians, cyclists and public transport; (h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance with the <i>Guide to Road Design Part 6A: Paths for Walking and Cycling 2016</i>; (i) the topography of the site; and (j) the future subdivision potential of any balance lots on adjoining or adjacent land. |
| <p>A2</p> <p>Where the subdivision plan includes one or more new roads, street trees must be provided within the road reserve:</p> <ul style="list-style-type: none"> (a) at intervals of not less than 10m measured between the centre of each trunk; or (b) at intervals not less than the canopy diameter of the tree species at maturity; and (c) in locations where sight distances to vehicle access points are compliant with the following: <ul style="list-style-type: none"> (i) in the case of non-commercial vehicle accesses, <i>Australian Standard AS 2890.1:2004, Parking Facilities, Part 1: Off-street car parking, section 3, Access Facilities to Off-street Parking Areas and Queuing Areas</i>; and (ii) in the case of commercial vehicle accesses, <i>Australian Standard AS 2890.2:2002, Parking facilities Part 2: Off-street commercial vehicle facilities</i>. | <p>P2</p> <p>No Performance Criterion.</p> |

NOR-S2.9 Tables

This sub-clause is not used in this specific area plan.

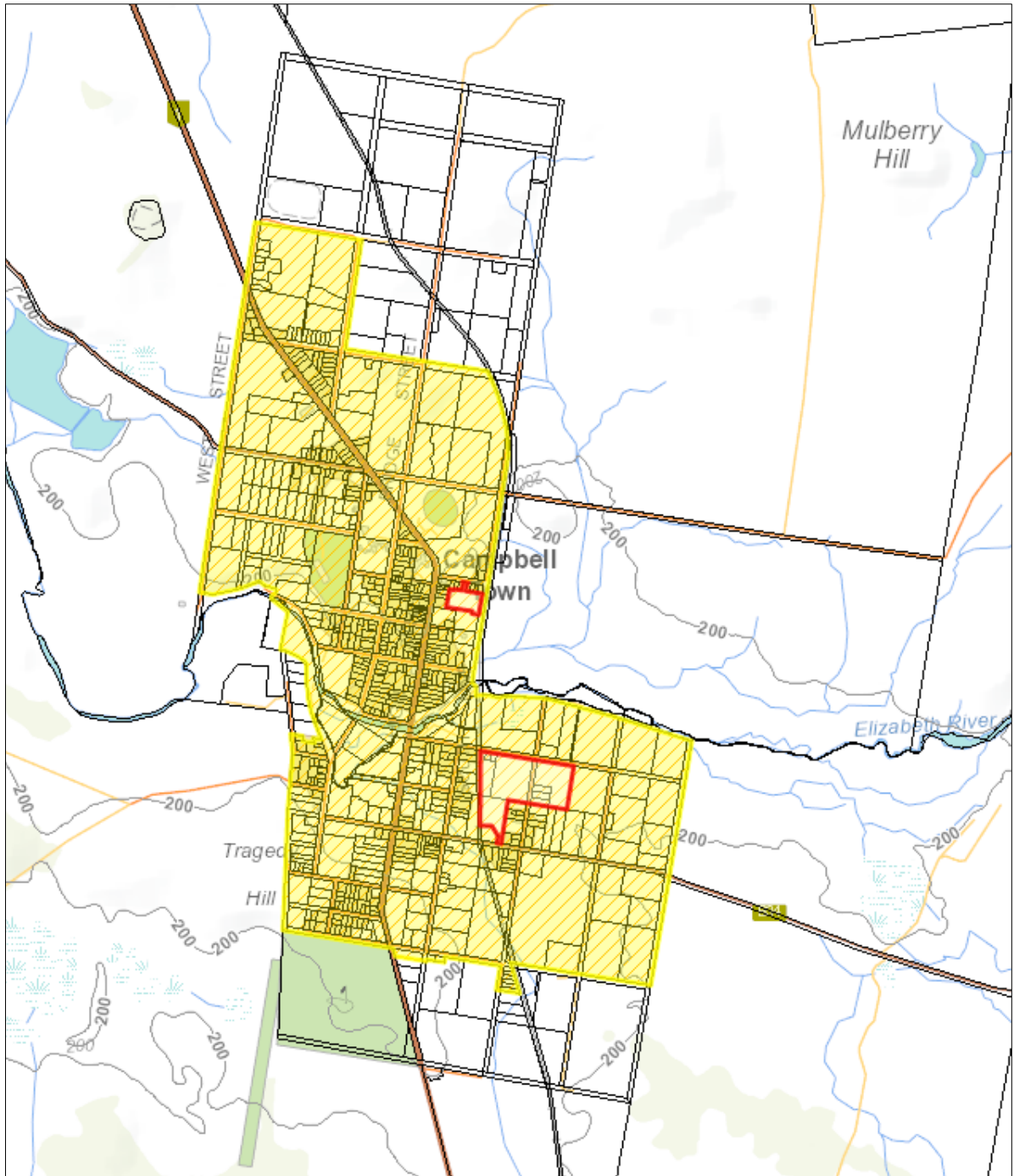


Figure NOR-S2.2.1 Campbell Town Specific Area Plan shown in light yellow as required by clause NOR-S2.2.1, with precinct development masterplan locations outlined in red

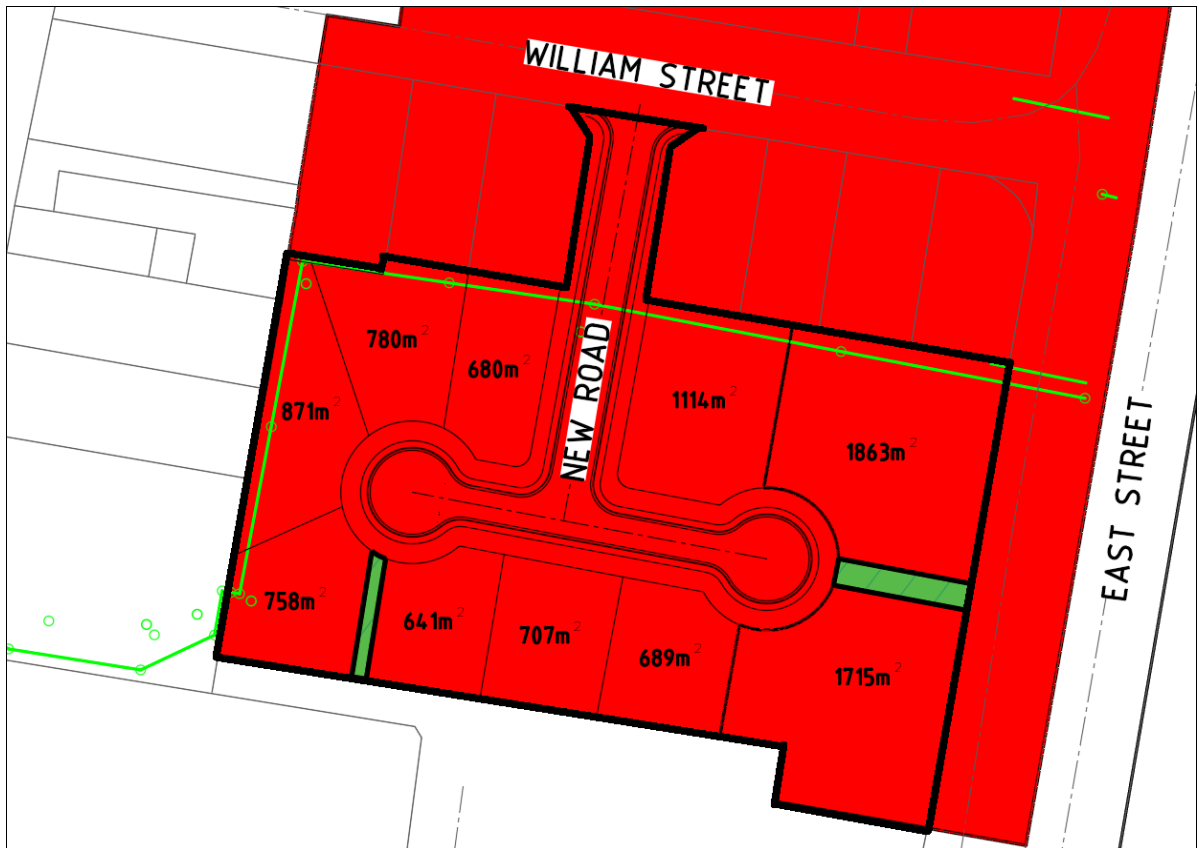


Figure NOR-S2.2.2 William Street Development Precinct Masterplan (outlined in black) as required by clause NOR-S2.2.2, clause NOR-S2.8.1 A1 and P1, and clause NOR-S2.8.3

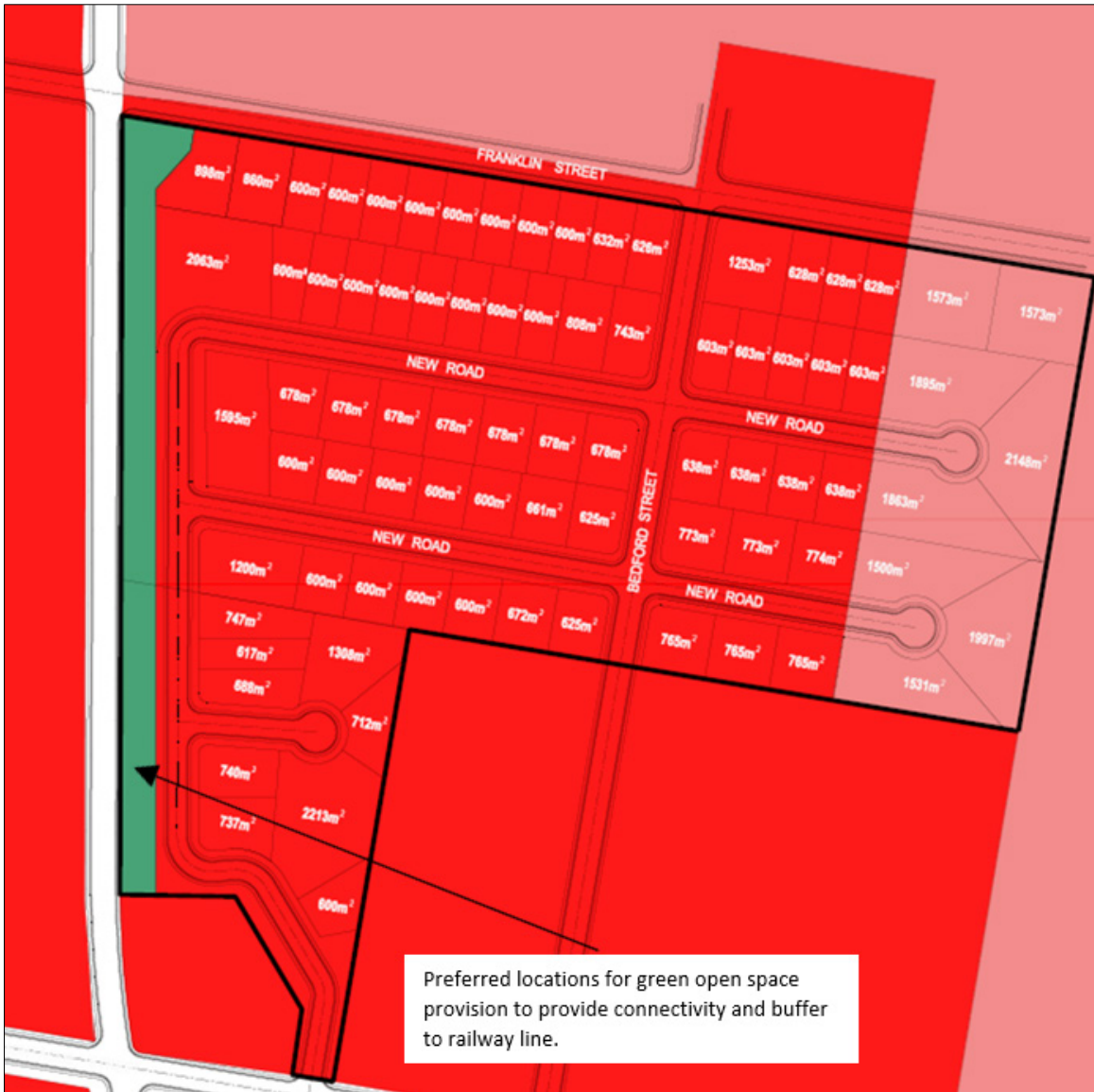


Figure NOR-S2.2.3 Franklin and Bedford Streets Development Precinct Masterplan (outlined in black) as required by clause NOR-S2.2.3, clause NOR-S2.8.1 A1 and P1, and clause NOR-S2.8.3

NOR-S3.0 Cressy Specific Area Plan

NOR-S3.1 Plan Purpose

The purpose of the Cressy Specific Area Plan is:

- NOR-S3.1.1 To provide for residential use and development that is compatible with the existing rural township character, and the natural setting of Cressy and its views to the Western Tiers.
- NOR-S3.1.2 To encourage use and development that is in character with the existing streetscape.
- NOR-S3.1.3 To provide for seasonal visitors and workers.
- NOR-S3.1.4 To provide for the subdivision of key development sites and provide for appropriately located public open space.
- NOR-S3.1.5 To encourage subdivision that provides for large lots and minimises internal lots.
- NOR-S3.1.6 That as part of any new subdivision new trees are provided to increase the township's tree canopy cover.

NOR-S3.2 Application of this Plan

- NOR-S3.2.1 The specific area plan applies to the area of land designated as NOR-S3.0 Cressy Specific Area Plan on the overlay maps and in Figure NOR-S3.2.1.
- NOR-S3.2.2 Precinct Plan NOR-S3.2.2 applies to the area of land designated as William Street Development Precinct Masterplan in Figure NOR-S3.2.2.
- NOR-S3.2.3 Precinct Plan NOR-S3.2.3 applies to the area of land designated as Main Street 1 Development Precinct Masterplan in Figure NOR-S3.2.3.
- NOR-S3.2.4 Precinct Plan NOR-S3.2.4 applies to the area of land designated as Main Street 2 Development Precinct Masterplan in Figure NOR-S3.2.4.
- NOR-S3.2.5 In the area of land this plan applies to, the provisions of the specific area plan are in substitution for, and are in addition to the provisions of:
 - (a) General Residential Zone;
 - (b) Low Density Residential Zone; and
 - (c) Open Space Zone,as specified in the relevant provision.

NOR-S3.3 Local Area Objectives

This sub-clause is not used in this specific area plan.

NOR-S3.4 Definition of Terms

This sub-clause is not used in this specific area plan.

NOR-S3.5 Use Table

This clause is in substitution for Low Density Residential Zone - clause 10.2 Use Table.

| Use Class | Qualification |
|--|--|
| No Permit Required | |
| Natural and Cultural Values Management | |
| Passive Recreation | |
| Residential | If for a single dwelling. |
| Utilities | If for minor utilities. |
| Permitted | |
| Residential | If for a home based business. |
| Visitor Accommodation | |
| Discretionary | |
| Business and Professional Services | If for a consulting room, medical centre, veterinary centre, child health clinic or for the provision of residential support services. |
| Community Meeting and Entertainment | If for a place of worship, art and craft centre or public hall. |
| Educational and Occasional Care | If not for a tertiary institution. |
| Emergency Services | |
| Food Services | If not for a take away food premises with a drive through facility. |
| General Retail and Hire | If for a local shop. |
| Sports and Recreation | If for a fitness centre, gymnasium, public swimming pool or sports ground. |
| Utilities | If not listed as No Permit Required. |
| Prohibited | |
| All other uses | |

NOR-S3.6 Use Standards

This sub-clause is not used in this specific area plan.

NOR-S3.7 Development Standards for Buildings and Works

NOR-S3.7.1 Residential density for multiple dwellings.

This clause is in substitution for General Residential Zone – clause 8.4.1 Residential density for multiple dwellings.

| Objective: | That the density of multiple dwellings: <ul style="list-style-type: none"> (a) makes efficient use of land for housing; (b) is compatible with the rural township character of Cressy; and (c) optimises the use of infrastructure and community services. |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Multiple dwellings must have a site area per dwelling of not less than 400m².</p> | <p>P1</p> <p>Multiple dwellings must only have a site area per dwelling that is less than 400m², if the development will not exceed the capacity of infrastructure services and:</p> <ul style="list-style-type: none"> (a) is compatible with the density of existing development on established properties within the area; or (b) provides for a significant social or community benefit and is: <ul style="list-style-type: none"> (i) wholly or partly within 400m walking distance of a public transport stop; or (ii) wholly or partly within 400m walking distance of a Village Zone, Local Business Zone, or General Business Zone. |

NOR-S3.8 Development Standards for Subdivision

NOR-S3.8.1 Lot design in development precincts

This clause is in addition to General Residential Zone – clause 8.6.1 Lot design, Low Density Residential Zone – clause 10.6.1 Lot design, and Open Space Zone – clause 29.5.1 Lot design.

| Objective: | That each development precinct creates an efficient lot design that provides connectivity and optimal location for public open space compatible with the rural township character. |
|--|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be in accordance with the lot layout shown in</p> | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be consistent with the rural township character</p> |

| | |
|---|--|
| <p>the precinct masterplans in Figures NOR-S3.2.2, NOR-S3.2.3 and NOR-S3.2.4.</p> | <p>and provide an optimal location for public open space, having regard to:</p> <ul style="list-style-type: none"> (a) lot layout shown in the applicable precinct masterplans in Figures NOR-S3.2.2, NOR-S3.2.3 and NOR-S3.2.4; (b) the road network as north south grid; (c) fronting new lots onto existing roads where possible; (d) minimising cul-de-sacs; (e) the provision of public open spaces that facilitate pedestrian loops around the town; (f) creating connections between new and existing public open spaces; (g) creating road frontages around public open spaces; (h) using public open spaces for stormwater detention; (i) the relevant requirements for development of buildings on the lots; (j) the intended location of buildings on the lots; and (k) the pattern of development existing on established properties within the area. |
|---|--|

NOR-S3.8.2 Lot design

This clause is in substitution for General Residential Zone – clause 8.6.1 Lot design.

| | |
|---|--|
| <p>Objective:</p> | <p>That each lot:</p> <ul style="list-style-type: none"> (a) has an area and dimensions appropriate for the use and development; (b) is provided with appropriate access to a road; (c) contains areas which are suitable for development appropriate to the purpose of the zone and specific area plan, located to avoid natural hazards; and (d) is oriented to provide solar access for future dwellings. |
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must:</p> | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> |

| | |
|---|---|
| <p>(a) have an area of not less than 600m² and:</p> <p>(i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of:</p> <p>a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and</p> <p>b. easements or other title restrictions that limit or restrict development; and</p> <p>(ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; or</p> <p>(b) be required for public use by the Crown, a council or a State authority; or</p> <p>(c) be required for the provisions of Utilities; or</p> <p>(d) be for the consolidation of a lot with another lot provided each lot is within the same zone.</p> | <p>(a) the relevant requirements for development of buildings on the lots;</p> <p>(b) the intended location of buildings on the lots;</p> <p>(c) the topography of the site;</p> <p>(d) the presence of any natural hazards;</p> <p>(e) adequate provision of private open space; and</p> <p>(f) the pattern of development existing on established properties within the area.</p> |
|---|---|

NOR-S3.8.3 Internal lots

This clause is an addition to General Residential Zone – clause 8.6.1 Lot design.

| | |
|---|---|
| <p>Objective:</p> | <p>That subdivision layout of land outside the precinct masterplans in Figures NOR-S3.2.2, NOR-S3.2.3 and NOR-S3.2.4:</p> <p>(a) minimises internal lots;</p> <p>(b) is consistent with existing patterns of residential development in the surrounding area; and</p> <p>(c) retains the rural township character.</p> |
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>No Acceptable Solution.</p> | <p>P1</p> <p>Each internal lot, or an internal lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <p>(a) consistency with existing patterns of residential development of the surrounding area;</p> <p>(b) the lot gaining access from a road existing prior to the planning scheme coming into effect;</p> |

| | |
|--|---|
| | <ul style="list-style-type: none">(c) site constraints making an internal lot configuration the only reasonable option to efficiently use the land;(d) the lot contributing to the more efficient use of residential land and infrastructure;(e) the amenity of adjacent lots not being unreasonably affected by subsequent development and use;(f) the lot having access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m;(g) passing bays being provided at appropriate distances to service the likely future use of the lot;(h) the access strip being adjacent to or combined with no more than three other internal lot access strips provided that it is otherwise not appropriate to provide access via a public road;(i) the lot addressing and providing for passive surveillance of public open space and public rights of way if it fronts such public spaces;(j) the relevant requirements for development of buildings on the lots;(k) the intended location of buildings on the lots;(l) the topography of the site;(m) the presence of any natural hazards;(n) adequate provision of private open space; and(o) the pattern of development existing on established properties in the area. |
|--|---|

NOR-S3.8.4 Roads

This clause is in substitution for General Residential Zone – clause 8.6.2 Roads and Low Density Residential Zone – clause 10.6.2 Roads.

| <p>Objective:</p> | <p>That the arrangement of new roads within a subdivision provides for:</p> <ul style="list-style-type: none"> (a) safe, convenient and efficient connections to assist accessibility and mobility of the community; (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; (c) adequate areas for the planting of street trees in the road reserve; and (d) the efficient ultimate subdivision of the entirety of the land and of surrounding land. |
|--|---|
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>The subdivision includes no new roads.</p> | <p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <ul style="list-style-type: none"> (a) any road network plan adopted by the council; (b) the existing and proposed road hierarchy; (c) the need for connecting roads and pedestrian and cycling paths to common boundaries with adjoining land to facilitate future subdivision potential; (d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; (e) minimising the travel distance between key destinations such as shops and services and public transport routes; (f) access to public transport; (g) the efficient and safe movement of pedestrians, cyclists and public transport; (h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance with the <i>Guide to Road Design Part 6A: Paths for Walking and Cycling 2016</i>; (i) the topography of the site; and (j) the future subdivision potential of any balance lots on adjoining or adjacent land. |

| | |
|---|---|
| <p>A2</p> <p>Where the subdivision plan includes one or more new roads, street trees must be provided within the road reserve:</p> <ul style="list-style-type: none"> (a) at intervals of not less than 10m measured between the centre of each trunk; or (b) at intervals not less than the canopy diameter of the tree species at maturity; and (c) in locations where sight distances to vehicle access points are compliant with the following: <ul style="list-style-type: none"> (i) in the case of non-commercial vehicle accesses, <i>Australian Standard AS 2890.1:2004, Parking Facilities, Part 1: Off-street car parking, section 3, Access Facilities to Off-street Parking Areas and Queuing Areas</i>; and (ii) in the case of commercial vehicle accesses, <i>Australian Standard AS 2890.2:2002, Parking facilities Part 2: Off-street commercial vehicle facilities</i>. | <p>P2</p> <p>No Performance Criterion.</p> |
|---|---|

NOR-S3.9 Tables

This sub-clause is not used in this specific area plan.

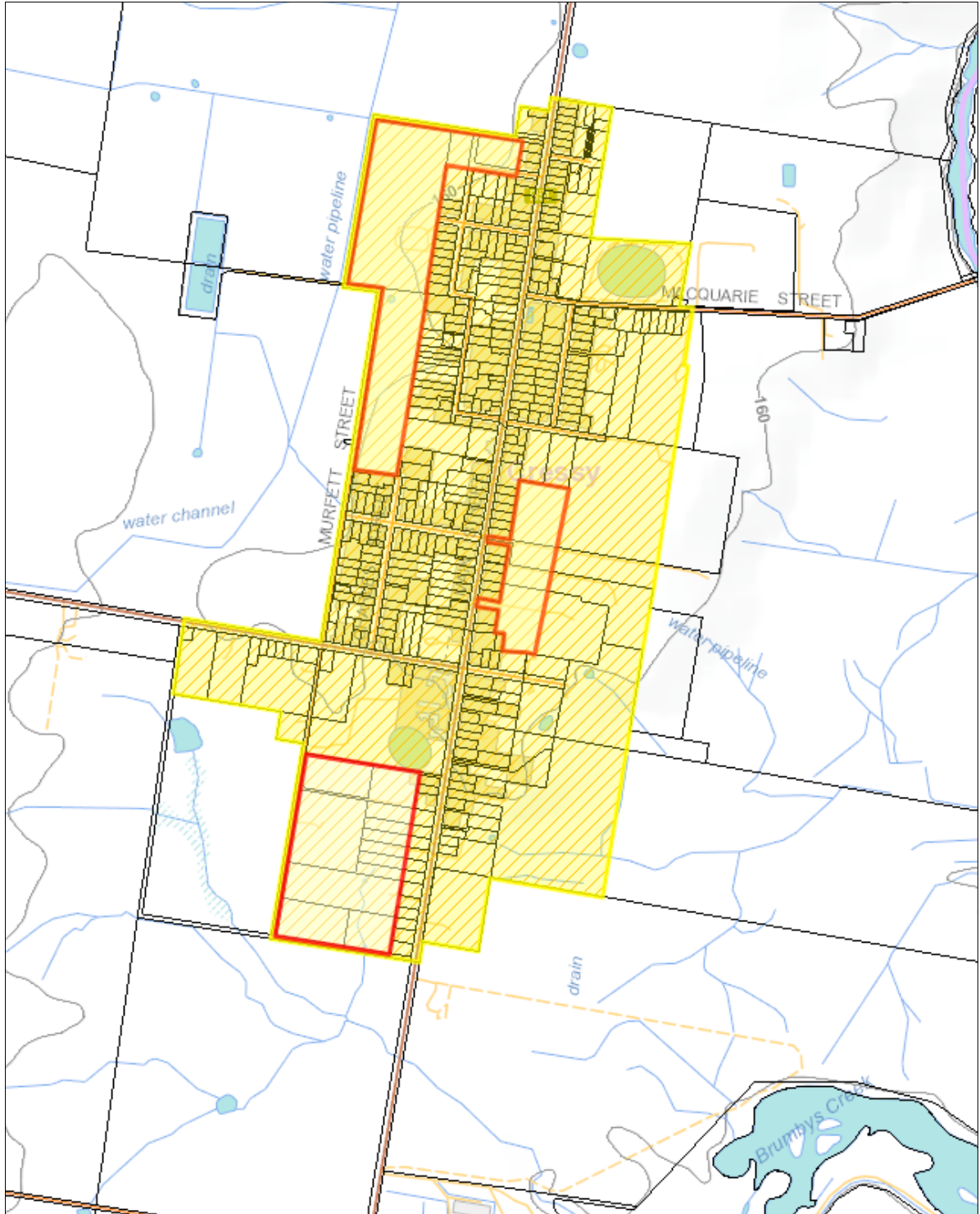


Figure NOR-S3.2.1 Cressy Specific Area Plan as shown in light yellow as required by clause NOR-S3.2.1, with precinct development masterplan locations outlined in red

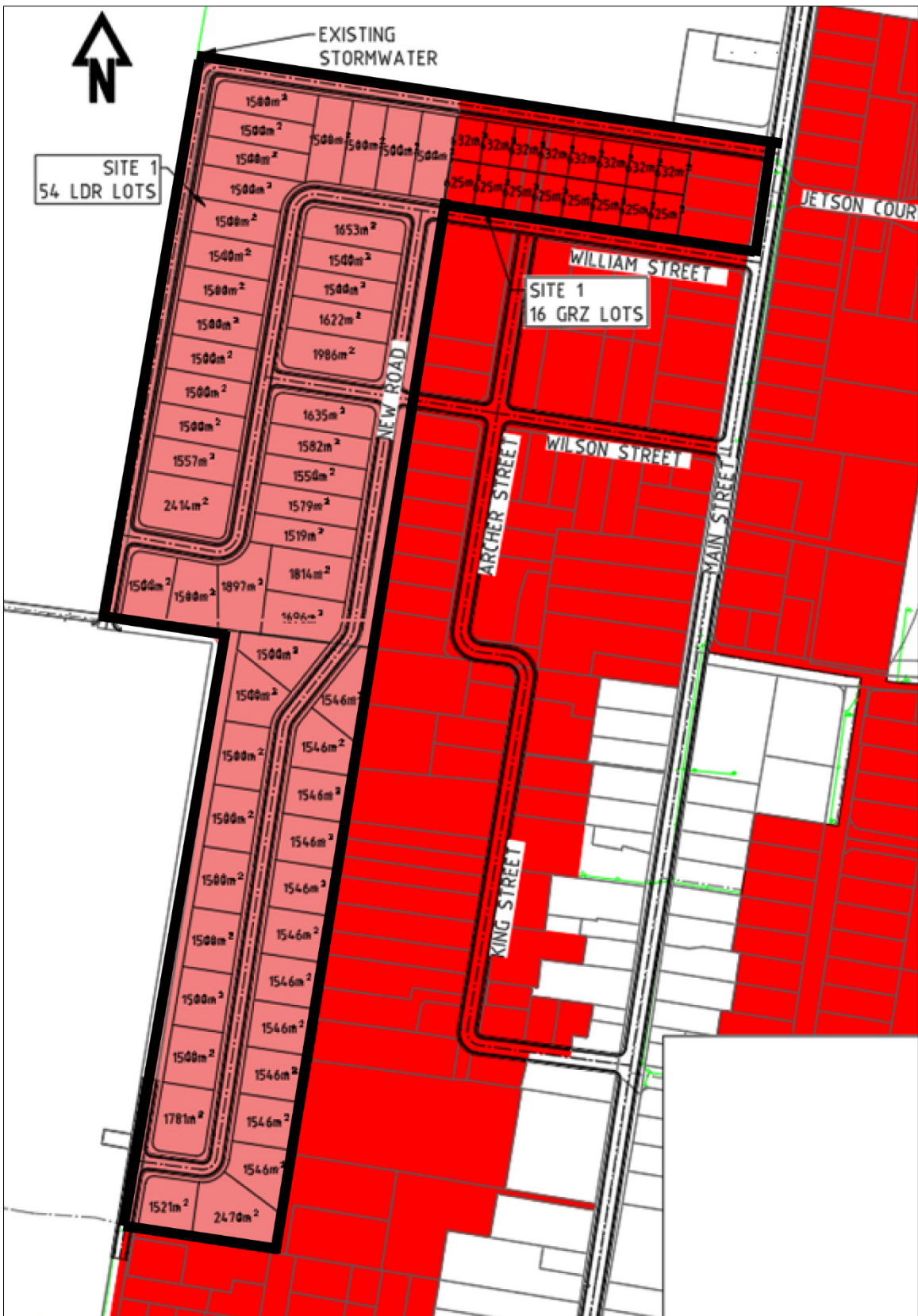


Figure NOR-S3.2.2 William Street Development Precinct Masterplan (outlined in black) as required by clause NOR-S3.2.2, clause NOR-S3.8.1 A1 and P1, and clause NOR-S3.8.3



Figure NOR-S3.2.3 Main Street 1 Development Precinct Masterplan (outlined in black) as required by clause NOR-S3.2.3, clause NOR-S3.8.1 A1 and P1, and clause NOR-S3.8.3

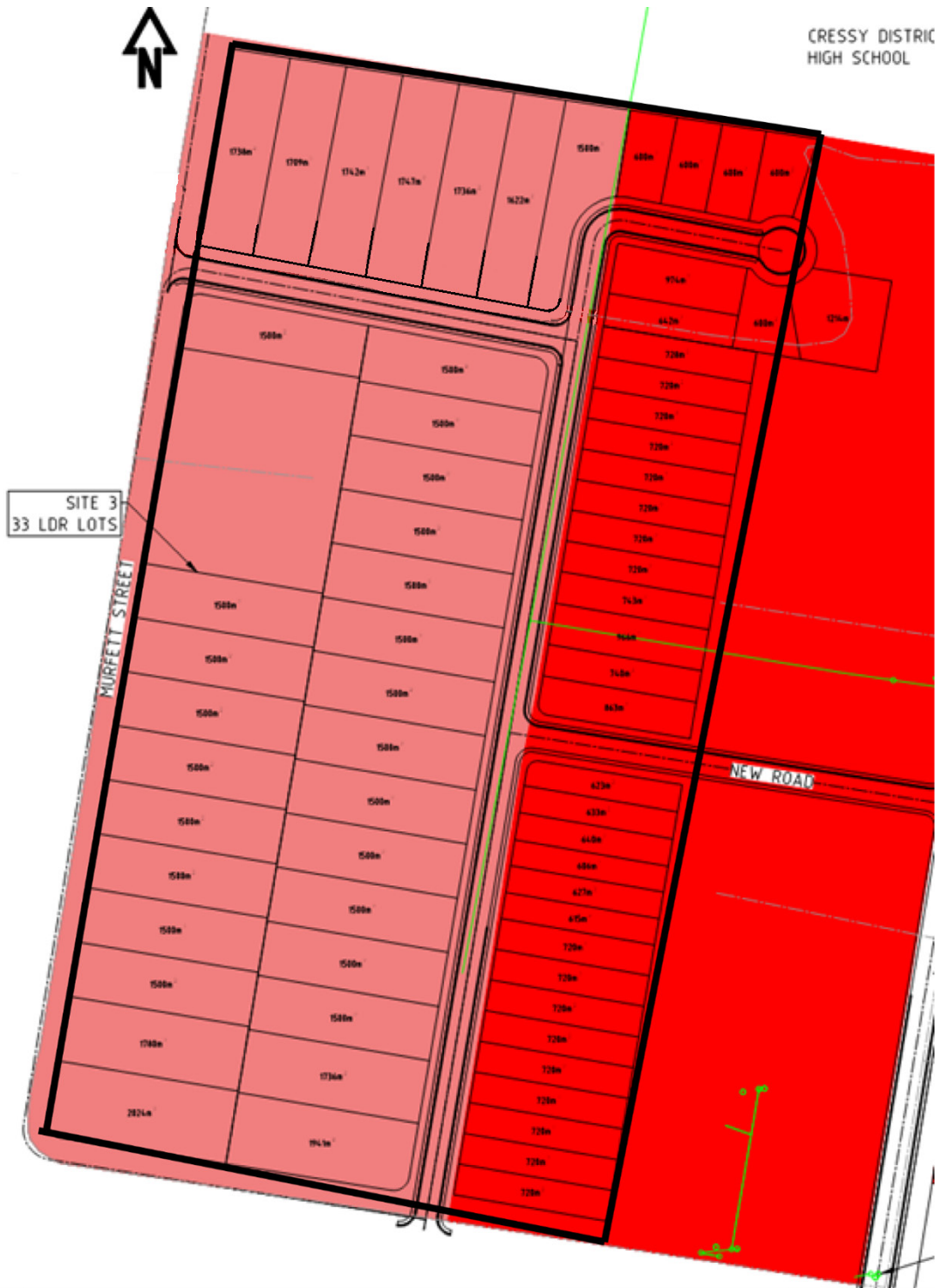


Figure NOR-S3.2.4 Main Street 2 Development Precinct Masterplan (outlined in black) as required by clause NOR-S3.2.4, clause NOR-S3.8.1 A1 and P1, and clause NOR-S3.8.3

NOR-S4.0 Devon Hills Specific Area Plan

NOR-S4.1 Plan Purpose

The purpose of the Devon Hills Specific Area plan is:

- NOR-S4.1.1 To prohibit the densification of dwellings within Devon Hills.
- NOR-S4.1.2 To maintain the existing uses within Devon Hills.
- NOR-S4.1.3 To maintain the established residential visual character and amenity within Devon Hills.
- NOR-S4.1.4 To maintain a development density that mitigates visual impacts when viewed from public land.

NOR-S4.2 Application of this Plan

- NOR-S4.2.1 The specific area plan applies to the area of land designated as NOR-S4.0 Devon Hills Specific Area Plan on the overlay maps and in Figure NOR-S4.2.1.
- NOR-S4.2.2 In the area of land this plan applies to, the provisions of the specific area plan are in substitution for and in addition to the provisions of the Low Density Residential Zone as specified in the relevant provision.

NOR-S4.3 Local Area Objectives

This sub-clause is not used in this specific area plan.

NOR-S4.4 Definition of Terms

This sub-clause is not used in this specific area plan.

NOR-S4.5 Use Table

This clause is in substitution for Low Density Residential Zone - clause 10.2 Use Table.

| Use Class | Qualification |
|--|--|
| No Permit Required | |
| Natural and Cultural Values Management | |
| Passive Recreation | |
| Permitted | |
| Residential | If for an ancillary dwelling, caretakers dwelling, home-based business, single dwelling. |
| Utilities | If for minor utilities. |
| Visitor Accommodation | |

| Use Class | Qualification |
|-------------------------------------|---|
| Discretionary | |
| Business and Professional Services | If for a medical centre. |
| Community Meeting and Entertainment | If not for a cinema or function centre. |
| Emergency Services | |
| General Retail and Hire | If for a local shop. |
| Sports and Recreation | |
| Utilities | If not for minor utilities. |
| Prohibited | |
| All other uses | |

NOR-S4.6 Use Standards

NOR-S4.6.1 Discretionary uses

This clause is in addition to Low Density Residential Zone - clause 10.3.1 Discretionary Use Standards.

| | | |
|---|---|--|
| Objective: | That discretionary uses support the visual character of the area. | |
| Acceptable Solutions | Performance Criteria | |
| A1 Goods or material storage for discretionary uses must not be stored outside in locations visible from adjacent properties, the road or public land. | P1 No Performance Criterion. | |
| A2 Waste material storage for discretionary uses must: (a) not be visible from the road to which the site has frontage; and (b) use self-contained receptacles designed to prevent waste escaping into the environment. | P2 No Performance Criterion. | |

NOR-S4.7 Development Standards for Buildings and Works

This sub-clause is not used in this specific area plan.

NOR-S4.8 Development Standards for Subdivision

This sub-clause is not used in this specific area plan.

NOR-S4.9 Tables

This sub-clause is not used in this specific area plan.

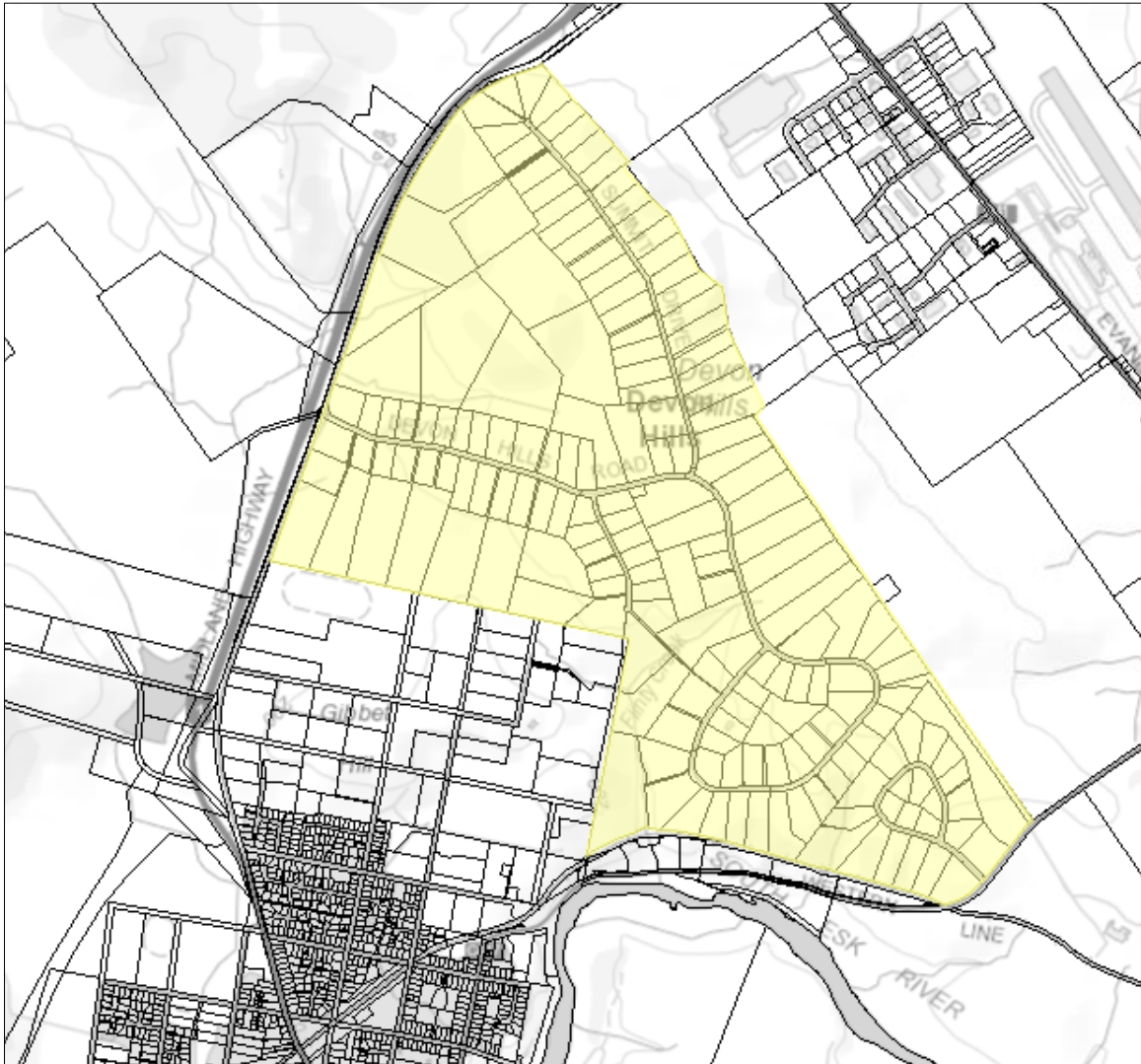


Figure NOR-S4.2.1 Devon Hills Specific Area Plan as shown in light yellow area as required by clause NOR-S4.2.1

NOR-S5.0 Evandale Specific Area Plan

NOR-S5.1 Plan Purpose

The purpose of the Evandale Specific Area Plan is:

- NOR-S5.1.1 To protect and enhance the unique history and character of the village.
- NOR-S5.1.2 To maintain the current open space, picturesque and historic streetscapes.
- NOR-S5.1.3 To provide for community events.
- NOR-S5.1.4 To encourage the provision of appropriate tourism infrastructure whilst maintaining the scenic character of Evandale.
- NOR-S5.1.5 To provide for development that is compatible with the existing streetscape settings, building forms and the rural village character.
- NOR-S5.1.6 To provide for the subdivision of key development sites and provide for appropriately located public open space.
- NOR-S5.1.7 To encourage subdivision that provides for large lots and minimises internal lots.
- NOR-S5.1.8 That as part of any new subdivision, new trees are provided to increase the township's tree canopy cover.

NOR-S5.2 Application of this Plan

- NOR-S5.2.1 The specific area plan applies to the area of land designated as NOR-S5.0 Evandale Specific Area Plan on the overlay maps and in Figure S5.2.1.
- NOR-S5.2.2 Precinct Plan NOR-S5.2.2 applies to the area of land designated as Cambock Lane West Development Precinct Masterplan on the overlay maps and in Figure NOR-S5.2.2.
- NOR-S5.2.3 Precinct Plan NOR-S5.2.3 applies to the area of land designated as Logan Road Development Precinct Masterplan on the overlay maps and in Figure NOR-S5.2.3.
- NOR-S5.2.4 In the area of land this plan applies to, the provisions of the specific area plan are in substitution for and are in addition to the provisions of:
 - (a) General Residential Zone; and
 - (b) Open Space Zone; andas specified in the relevant provisions.

NOR-S5.3 Local Area Objectives

This sub-clause is not used in this specific area plan.

NOR-S5.4 Definition of Terms

This sub-clause is not used in this specific area plan.

NOR-S5.5 Use Table

This sub-clause is not used in this specific area plan.

NOR-S5.6 Use Standards

This sub-clause is not used in this specific area plan.

NOR-S5.7 Development Standards for Buildings and Works

NOR-S5.7.1 Residential density for multiple dwellings

This clause is a substitution for General Residential Zone – clause 8.4.1 Residential density for multiple dwellings.

| Objective: | <p>That the density of multiple dwellings:</p> <ul style="list-style-type: none"> (a) makes efficient use of land for housing; (b) maintains the village character of Evandale; and (c) optimises the use of infrastructure and community services. |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Multiple dwellings must have a site area per dwelling of not less than 400m².</p> | <p>P1</p> <p>Multiple dwellings must only have a site area per dwelling that is less than 400m², if the development will not exceed the capacity of infrastructure services and:</p> <ul style="list-style-type: none"> (a) is compatible with the density of existing development on established properties within the area; or (b) provides for a significant social or community benefit and is: <ul style="list-style-type: none"> (i) wholly or partly within 400m walking distance of a public transport stop; or (ii) wholly or partly within 400m walking distance of a Village Zone, Local Business Zone, or General Business Zone. |

NOR-S5.7.2 Roof form and materials

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| Objective: | That roof forms are designed to be compatible with, and not detract from, the existing streetscape or rural village character. |
|---|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Roof form for new buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must be as per the roof forms shown in Figure NOR-S5.7.2, with the roof pitch being within a range of 22.5 – 40 degrees.</p> | <p>P1</p> <p>Roof form for new buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must be compatible with, and not detract from, the existing streetscape or rural village character, having regard to:</p> <ul style="list-style-type: none"> (a) the design and period of construction of the existing buildings in the street; (b) the design and period of construction of the existing buildings or rural village character; and (c) visibility from any road or public open space. |

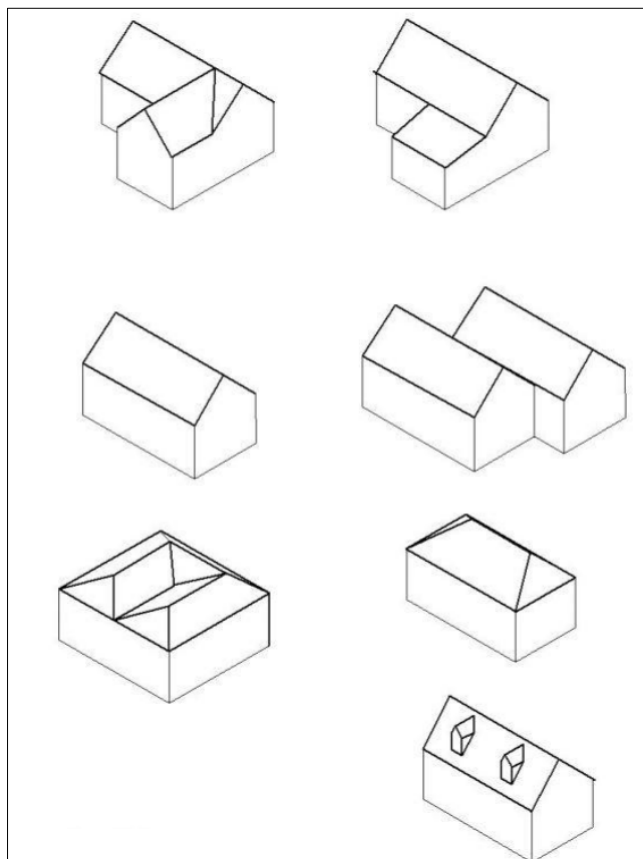


Figure NOR-S5.7.2 Roof forms as required by clause NOR-S5.7.2 A1

NOR-S5.7.3 Wall materials

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| | | |
|-----------------------------|---|---|
| Objective: | That wall materials used are compatible with the existing streetscape or rural village character. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | <p>Wall materials, excluding outbuildings, places listed in Table C6.1, and sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must be of a form and material that matches the existing building or not be visible from any road or public open space adjoining the site.</p> | <p>P1</p> <p>Wall materials of buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings on the site and in the street, and be compatible with the design and period of construction of the existing buildings or rural village character, having regard to:</p> <ul style="list-style-type: none"> (a) use of bull-nosed timber weatherboards, or materials that have the appearance of bull-nosed timber weatherboards; or (b) use of brickwork with mortar of a neutral earth colour and struck flush with the brickwork; or (c) use of concrete blocks specifically chosen to: <ul style="list-style-type: none"> (i) blend with dressed sandstone; or (ii) rendered with coloured finishes in neutral earth tones. |

NOR-S5.7.4 Windows

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| | | |
|-----------------------------|---|---|
| Objective: | That window form and details are compatible with the streetscape or rural village character. | |
| Acceptable Solutions | | Performance Criteria |
| A1 | <p>Window heads in all buildings, excluding places listed in Table C6.1, sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must be a minimum of 300mm below the eaves line, or match the level of the window heads in the existing building.</p> | <p>P1</p> <p>No Performance Criterion.</p> |

| | |
|--|---|
| <p>A2</p> <p>Windows in a façade facing a frontage, excluding places listed in Table C6.1 and sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must have no greater than 30% of the total surface area consisting of windows.</p> | <p>P2</p> <p>Windows in the front façade of a building, excluding places listed in Table C6.1 and sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings in the street.</p> |
| <p>A3</p> <p>Windows for new buildings and extensions to existing buildings, or alterations to existing buildings, excluding places listed in Table C6.1 and sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must not be visible from public spaces.</p> | <p>P3</p> <p>Windows for new buildings and extensions to existing buildings, or alterations to existing buildings, excluding places listed in Table C6.1 and sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings in the street, having regard to:</p> <ul style="list-style-type: none"> (a) the period and style of the building; (b) the use of multi-pane sashes conforming to the patterns per sash with size and profile glazing bars as shown in Figure NOR-S5.7.4 (b); (c) the use of projecting brick or stone sills that match the existing if in a brick or masonry building; (d) the use clear glass; and (e) the division of large areas of glass panelling with vertical mullions to achieve a vertical orientation of glazing. |

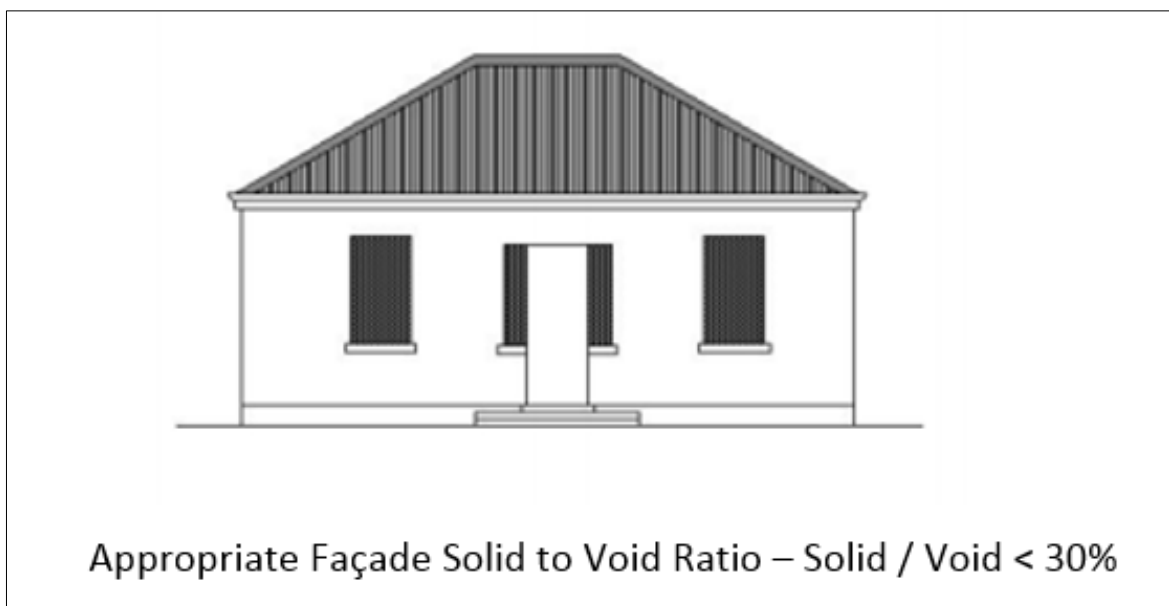


Figure NOR-S5.7.4 (a) Window/Void ratio as required by clause NOR-S5.7.4 A2

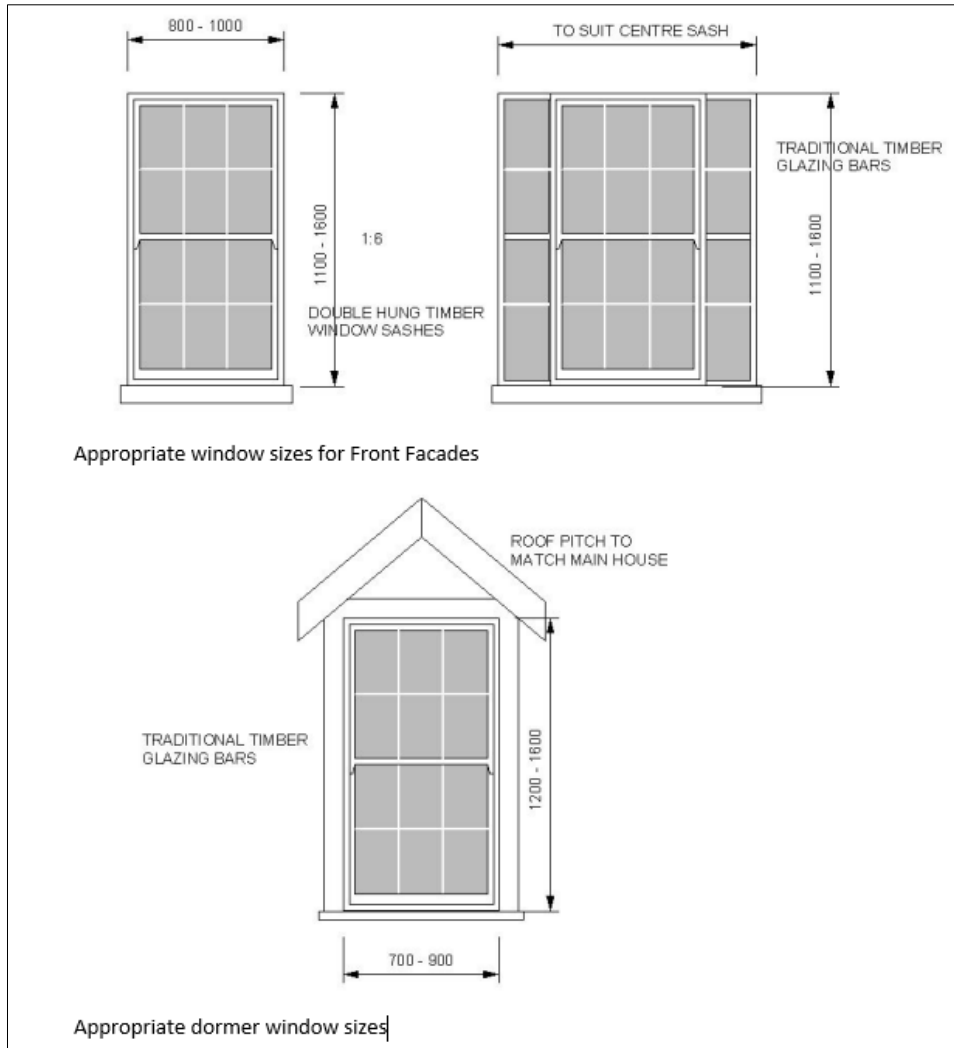


Figure NOR-S5.7.4 (b) Window shapes and styles as required by clause NOR-S5.7.4 A2

NOR-S5.8 Development Standards for Subdivision

NOR-S5.8.1 Lot design in development precincts

This clause is in addition to General Residential Zone – clause 8.6.1 Lot design and Open Space Zone – clause 29.5.1 Lot design.

| Objective: | That each development precinct creates an efficient lot design that provides connectivity and optimal location for public open space compatible with the rural township character. |
|---|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be in accordance with the lot layout shown in the Precinct Masterplans in Figures NOR-S5.2.2 and NOR-S5.2.3.</p> | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be consistent with the rural township character and provide an optimal location for public open space, having regard to:</p> <ul style="list-style-type: none"> (a) lot layout shown in the applicable precinct masterplans in Figures NOR-S5.2.2 and NOR-S5.2.3; (b) the road network as north south grid; (c) fronting new lots onto existing roads where possible; (d) minimising cul-de-sacs; (e) the provision of public open spaces that facilitate pedestrian loops around the town; (f) creating connections between new and existing public open spaces; (g) creating road frontages around public open spaces; (h) using public open spaces for stormwater detention; (i) the relevant requirements for development of buildings on the lots; (j) the intended location of buildings on the lots; and (k) the pattern of development existing on established properties within the area. |

NOR-S5.8.2 Lot design

This clause is in substitution for General Residential Zone – clause 8.6.1 Lot design.

| Objective: | <p>That each lot:</p> <ul style="list-style-type: none"> (a) has an area and dimensions appropriate for the use and development; (b) is provided with appropriate access to a road; (c) contains areas which are suitable for development appropriate to the purpose of the zone and specific area plan, located to avoid natural hazards; and (d) is oriented to provide solar access for future dwellings. |
|--|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must:</p> <ul style="list-style-type: none"> (a) have an area of not less than 600m² and: <ul style="list-style-type: none"> (i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of: <ul style="list-style-type: none"> a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and (ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; or (b) be required for public use by the Crown, a council or a State authority; or (c) be required for the provisions of Utilities; or (d) be for the consolidation of a lot with another lot provided each lot is within the same zone. | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) the relevant requirements for development of buildings on the lots; (b) the intended location of buildings on the lots; (c) the topography of the site; (d) the presence of any natural hazards; (e) adequate provision of private open space; (f) the pattern of development existing on established properties within the area; and (g) must be no more than 15% smaller than the minimum applicable lot size required by clause NOR-S5.8.2 A1 (a). |

NOR-S5.8.3 Internal lots

This clause is an addition to General Residential Zone– clause 8.6.1 Lot design.

| <p>Objective:</p> | <p>That subdivision layout of land outside the precinct masterplans in Figures NOR-S5.2.2 and NOR-S5.2.3:</p> <ul style="list-style-type: none"> (a) minimises internal lots; (b) is consistent with existing patterns of residential development in the surrounding area; and (c) retains the rural township character. |
|---|---|
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>No Acceptable Solution.</p> | <p>P1</p> <p>Each internal lot, or an internal lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) consistency with existing patterns of residential development of the surrounding area; (b) the lot gaining access from a road existing prior to the planning scheme coming into effect; (c) site constraints making an internal lot configuration the only reasonable option to efficiently use the land; (d) the lot contributing to the more efficient use of residential land and infrastructure; (e) the amenity of adjacent lots not being unreasonably affected by subsequent development and use; (f) the lot having access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m; (g) passing bays being provided at appropriate distances to service the likely future use of the lot; (h) the access strip being adjacent to or combined with no more than three other internal lot access strips provided that it is otherwise not appropriate to provide access via a public road; (i) the lot addressing and providing for passive surveillance of public open space and public rights of way if it fronts such public spaces; |

| | |
|--|--|
| | <ul style="list-style-type: none"> (j) the relevant requirements for development of buildings on the lots; (k) the intended location of buildings on the lots; (l) the topography of the site; (m) the presence of any natural hazards; (n) adequate provision of private open space; and (o) the pattern of development existing on established properties in the area. |
|--|--|

NOR-S5.8.4 Roads

This clause is in substitution for General Residential Zone – clause 8.6.2 Roads.

| | |
|-------------------|--|
| Objective: | <p>That the arrangement of new roads within a subdivision provides for:</p> <ul style="list-style-type: none"> (a) safe, convenient and efficient connections to assist accessibility and mobility of the community; (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; (c) adequate areas for the planting of street trees in the road reserve; and (d) the efficient ultimate subdivision of the entirety of the land and of surrounding land. |
|-------------------|--|

| Acceptable Solutions | Performance Criteria |
|--|---|
| <p>A1</p> <p>The subdivision includes no new roads.</p> | <p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <ul style="list-style-type: none"> (a) any road network plan adopted by the council; (b) the existing and proposed road hierarchy; (c) the need for connecting roads and pedestrian and cycling paths to common boundaries with adjoining land to facilitate future subdivision potential; (d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; (e) minimising the travel distance between key destinations such as shops and services and public transport routes; (f) access to public transport; |

| | |
|---|--|
| | <ul style="list-style-type: none"> (g) the efficient and safe movement of pedestrians, cyclists and public transport; (h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance with the <i>Guide to Road Design Part 6A: Paths for Walking and Cycling 2016</i>; (i) the topography of the site; and (j) the future subdivision potential of any balance lots on adjoining or adjacent land. |
| <p>A2</p> <p>Where the subdivision plan includes one or more new roads, street trees must be provided within the road reserve:</p> <ul style="list-style-type: none"> (a) at intervals of not less than 10m measured between the centre of each trunk; or (b) at intervals not less than the canopy diameter of the tree species at maturity; and (c) in locations where sight distances to vehicle access points are compliant with the following: <ul style="list-style-type: none"> (i) in the case of non-commercial vehicle accesses, <i>Australian Standard AS 2890.1:2004, Parking Facilities, Part 1: Off-street car parking, section 3, Access Facilities to Off-street Parking Areas and Queuing Areas</i>; and (ii) in the case of commercial vehicle accesses, <i>Australian Standard AS 2890.2:2002, Parking facilities Part 2: Off-street commercial vehicle facilities</i>. | <p>P2</p> <p>No Performance Criterion.</p> |

NOR-S5.9 Tables

This sub-clause is not used in this specific area plan.

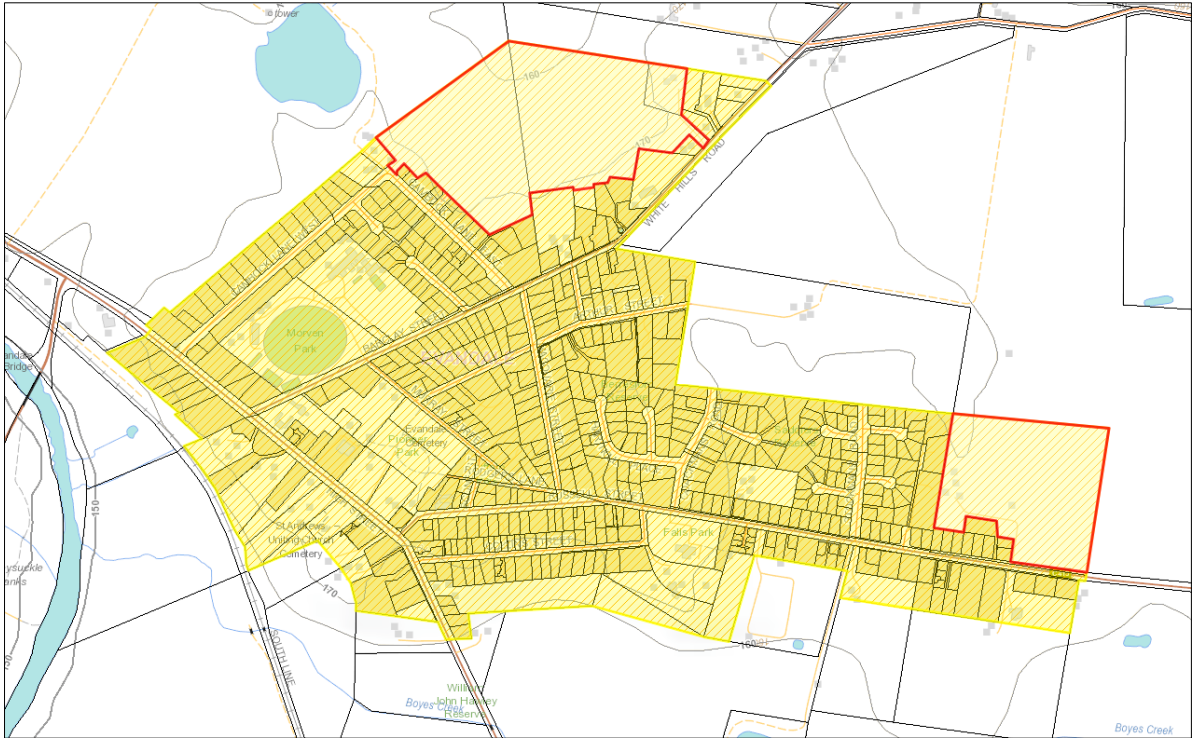


Figure NOR-S5.2.1 Evandale Specific Area Plan shown in light yellow as required by clause NOR-S5.2.1, with precinct development masterplan locations outlined in red

NOR-S6.0 Longford Specific Area Plan

NOR-S6.1 Plan Purpose

The purpose of the Longford Specific Area Plan is:

- NOR-S6.1.1 To protect and enhance the unique and intact history and character of the village.
- NOR-S6.1.2 To provide for development that is compatible with the existing streetscape settings, building forms and the rural village character.
- NOR-S6.1.3 To provide for the subdivision of key development sites and provide for appropriately located public open space.
- NOR-S6.1.4 To encourage subdivision that provides for large lots and minimises internal lots.
- NOR-S6.1.5 To maintain existing character and land use conflict.
- NOR-S6.1.6 That as part of any new subdivision, new trees are provided to increase the township's tree canopy cover.

NOR-S6.2 Application of this Plan

- NOR-S6.2.1 The specific area plan applies to the area of land designated as NOR-S6.0 Longford Specific Area Plan on the overlay maps and in Figure NOR-S6.2.1.
- NOR-S6.2.2 Precinct Plan NOR-S6.2.2 applies to the area of land designated as Pultney Street Development Precinct Masterplan on the overlay maps and in Figure NOR-S6.2.2.
- NOR-S6.2.3 Precinct Plan NOR-S.6.2.3 applies to the area of land designated as Low Density Residential Rural Fringe Development Precinct Masterplan on the overlay maps and in Figure NOR-S6.2.3.
- NOR-S6.2.4 In the area of land this plan applies to, the provisions of the specific area plan are in substitution for, and in addition to the provisions of:
 - (a) General Residential Zone
 - (b) Low Density Residential Zone; and
 - (c) Open Space Zone,as specified in the relevant provisions.

NOR-S6.3 Local Area Objectives

This sub-clause is not used in this specific area plan.

NOR-S6.4 Definition of Terms

This sub-clause is not used in this specific area plan.

NOR-S6.5 Use Table

This clause is a substitution for Low Density Residential Zone – 10.2 Use Table

| Use Class | Qualification |
|--|--|
| No Permit Required | |
| Natural and Cultural Values Management | |
| Passive Recreation | |
| Residential | If for a single dwelling. |
| Utilities | If for minor utilities. |
| Permitted | |
| Visitor Accommodation | |
| Residential | If for a home based business. |
| Discretionary | |
| Business and Professional Services | If for a consulting room, medical centre, veterinary centre, child health clinic or for the provision of residential support services. |
| Community Meeting and Entertainment | If for a place of worship, art and craft centre or public hall. |
| Educational and Occasional Care | If not for a tertiary institution. |
| Emergency Services | |
| Food Services | If not for a take away food premises with a drive through facility. |
| General Retail and Hire | If for a local shop. |
| Sports and Recreation | If for a fitness centre, gymnasium, public swimming pool, sports ground, or horse training and associated veterinary establishments. |
| Utilities | If not listed as No Permit Required. |
| Prohibited | |
| All other uses | |

NOR-S6.6 Use Standards

This sub-clause is not used in this specific area plan.

NOR-S6.7 Development Standards for Buildings and Works

NOR-S6.7.1 Residential density for multiple dwellings

This clause is in substitution for General Residential Zone – clause 8.4.1 Residential density for multiple dwellings

| Objective: | That the density of multiple dwellings: <ul style="list-style-type: none"> (a) makes efficient use of land for housing; (b) maintains the historic and rural character of Longford; and (c) optimises the use of infrastructure and community services. |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Multiple dwellings must have a site area per dwelling of not less than 400m².</p> | <p>P1</p> <p>Multiple dwellings must only have a site area per dwelling that is less than 400m², if the development will not exceed the capacity of infrastructure services and:</p> <ul style="list-style-type: none"> (a) is compatible with the density of existing development on established properties within the area; or (b) provides for a significant social or community benefit and is: <ul style="list-style-type: none"> (i) wholly or partly within 400m walking distance of a public transport stop; or (ii) wholly or partly within 400m walking distance of a Village Zone, Local Business Zone, or General Business Zone. |

NOR-S6.7.2 Roof form and materials

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| Objective: | That roof forms are designed to be compatible with, and not detract from, the existing streetscape or rural village character. |
|---|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Roof form for new buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be as per the roof forms shown in</p> | <p>P1</p> <p>Roof form for new buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be compatible with, and not detract from,</p> |

| | |
|--|---|
| <p>Figure NOR-S6.7.2, with the roof pitch being within a range of 22.5 – 40 degrees.</p> | <p>the existing streetscape or rural village character, having regard to:</p> <ul style="list-style-type: none"> (a) the design and period of construction of the existing buildings in the street; (b) the design and period of construction of the existing buildings or rural village character; and (c) visibility from any road or public open space. |
|--|---|

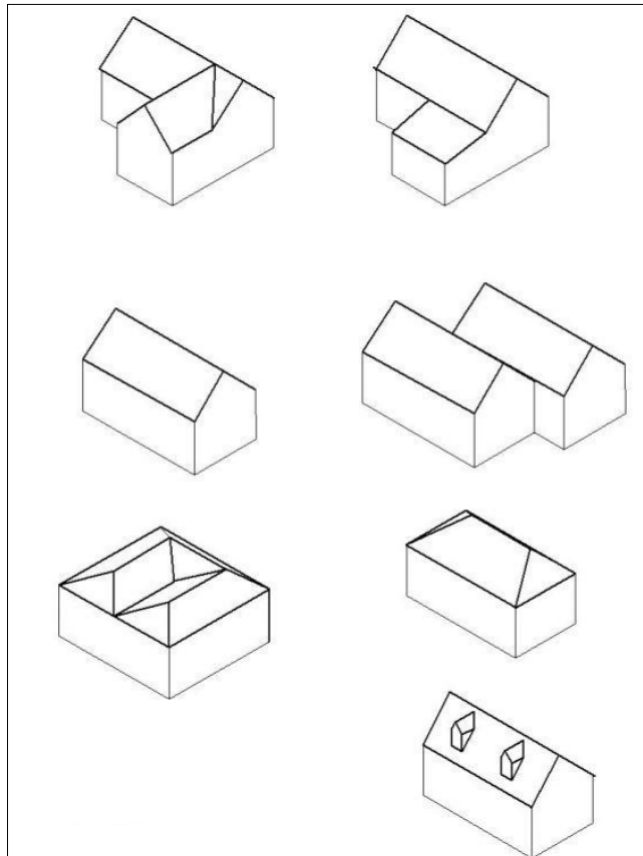


Figure NOR-S6.7.2 Roof forms as required by clause NOR-S6.7.2 A1

NOR-S6.7.3 Wall materials

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| | | |
|---|---|------------------------------------|
| <p>Objective:</p> | <p>That wall materials used are compatible with the existing streetscape or rural village character.</p> | |
| <p>Acceptable Solutions</p> | | <p>Performance Criteria</p> |
| <p>A1 Wall materials, excluding outbuildings, places listed in Table C6.1, and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must</p> | <p>P1 Wall materials of buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Longford Historic Heritage Precinct listed in Table</p> | |

| | |
|--|---|
| <p>be of a form and material that matches the existing building or not be visible from any road or public open space adjoining the site.</p> | <p>C6.2, must be compatible with the design and period of construction of the existing buildings on the site and in the street, and be compatible with the design and period of construction of the existing buildings or rural village character, having regard to:</p> <ul style="list-style-type: none"> (a) use of bull-nosed timber weatherboards, or materials that have the appearance of bull-nosed timber weatherboards; or (b) use of brickwork with mortar of a neutral earth colour and struck flush with the brickwork; or (c) use of concrete blocks specifically chosen to: <ul style="list-style-type: none"> (i) blend with dressed sandstone; or (ii) rendered with coloured finishes in neutral earth tones. |
|--|---|

NOR-S6.7.4 Windows

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| Objective: | That window form and details are compatible with the streetscape or rural village character. |
|--|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Window heads in all buildings, excluding places listed in Table C6.1, sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be a minimum of 300mm below the eaves line, or match the level of the window heads in the existing building.</p> | <p>P1</p> <p>No Performance Criterion.</p> |
| <p>A2</p> <p>Windows in a façade facing a frontage, excluding places listed in Table C6.1 and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must have no greater than 30% of the total surface area consisting of windows.</p> | <p>P2</p> <p>Windows in the front façade of a building, excluding places listed in Table C6.1 and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings in the street.</p> |
| <p>A3</p> <p>Windows for new buildings and extensions to existing buildings, or alterations to existing buildings, excluding places listed in Table C6.1 and sites located within the Longford Historic Heritage</p> | <p>P3</p> <p>Windows for new buildings and extensions to existing buildings, or alterations to existing buildings, excluding places listed in Table C6.1 and sites located within the Longford Historic Heritage Precinct</p> |

| | |
|---|---|
| <p>Precinct listed in Table C6.2, must not be visible from public spaces.</p> | <p>listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings in the street, having regard to:</p> <ul style="list-style-type: none">(a) the period and style of the building;(b) the use of multi-pane sashes conforming to the patterns per sash with size and profile glazing bars as shown in Figure NOR-S6.7.4 (b);(c) the use of projecting brick or stone sills that match the existing if in a brick or masonry building;(d) the use clear glass; and(e) the division of large areas of glass panelling with vertical mullions to achieve a vertical orientation of glazing. |
|---|---|

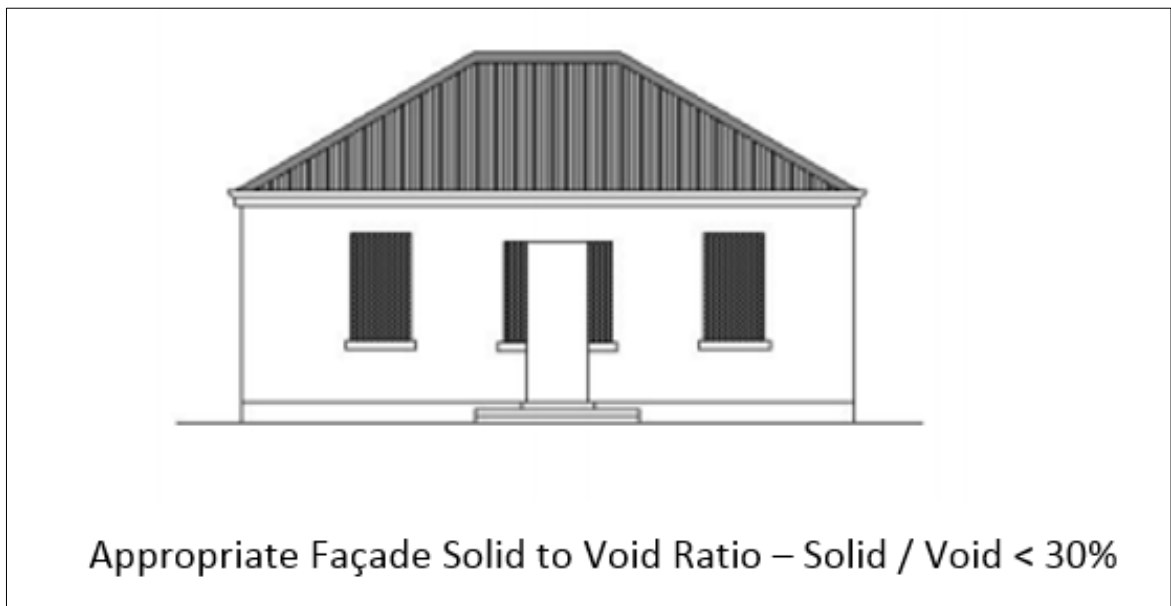


Figure NOR-S6.7.4 (a) Window/Void ratio as required by clause NOR-S6.7.4 A2

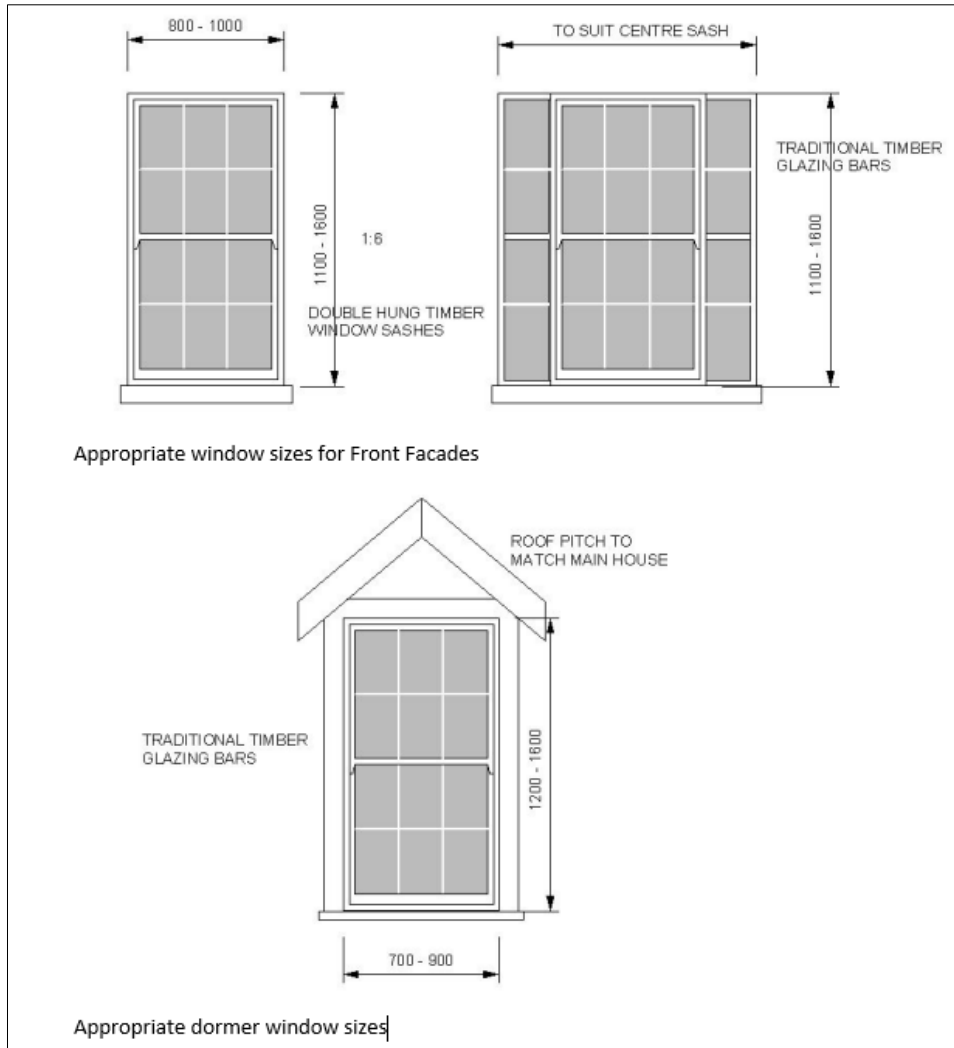


Figure NOR-S6.7.4 (b) Window shapes and styles as required by clause NOR-S6.7.4 A2

NOR-S6.8 Development Standards for Subdivision

NOR-S6.8.1 Lot design in development precinct

This clause is in addition to General Residential Zone – clause 8.6.1 Lot design and Open Space Zone – clause 29.5.1 Lot design.

| Objective: | That each development precinct creates an efficient lot design that provides connectivity and optimal location for public open space compatible with the rural township character. | |
|--|---|----------------------|
| Acceptable Solutions | | Performance Criteria |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be in accordance with the lot layout shown in the Precinct Masterplan in Figure NOR-S6.2.2.</p> | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be consistent with the rural township character and provide an optimal location for public open space, having regard to:</p> <ul style="list-style-type: none"> (a) lot layout shown in the applicable precinct masterplans in Figures NOR-S6.2.2; (b) the road network as north south grid; (c) fronting new lots onto existing roads where possible; (d) minimising cul-de-sacs; (e) the provision of public open spaces that facilitate pedestrian loops around the town; (f) creating connections between new and existing public open spaces; (g) creating road frontages around public open spaces; (h) using public open spaces for stormwater detention; (i) the relevant requirements for development of buildings on the lots; (j) the intended location of buildings on the lots; and (k) the pattern of development existing on established properties within the area. | |

NOR-S6.8.2 Lot design - urban

This clause is in substitution for General Residential Zone – clause 8.6.1 Lot design.

| Objective: | <p>That each lot:</p> <ul style="list-style-type: none"> (a) has an area and dimensions appropriate for the use and development; (b) is provided with appropriate access to a road; (c) contains areas which are suitable for development appropriate to the purpose of the zone and specific area plan, located to avoid natural hazards; and (d) is oriented to provide solar access for future dwellings. |
|--|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must:</p> <ul style="list-style-type: none"> (a) have an area of not less than 600m² and: <ul style="list-style-type: none"> (i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of: <ul style="list-style-type: none"> a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and (ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; or (b) be required for public use by the Crown, a council or a State authority; or (c) be required for the provisions of Utilities; or (d) be for the consolidation of a lot with another lot provided each lot is within the same zone. | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) the relevant requirements for development of buildings on the lots; (b) the intended location of buildings on the lots; (c) the topography of the site; (d) the presence of any natural hazards; (e) adequate provision of private open space; (f) the pattern of development existing on established properties within the area; and (g) must be no more than 15% smaller than the minimum applicable lot size required by clause NOR-S6.8.2 A1 (a). |

NOR-S6.8.3 Lot design – rural fringe

This clause is in substitution for Low Density Residential Zone – clause 10.6.1 Lot design.

| <p>Objectives:</p> | <p>That each lot:</p> <ul style="list-style-type: none"> (a) has sufficient area and dimensions appropriate for use and development in the zone and to manage conflict between residential use and agricultural industries; (b) is provided with appropriate access to a road; and (c) contains areas which are suitable for residential development. |
|---|---|
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision within the precinct shown in Figure NOR-S6.2.3, must:</p> <ul style="list-style-type: none"> (a) have an area of not less than 10,000m² and: <ul style="list-style-type: none"> (i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of: <ul style="list-style-type: none"> a. all setbacks required by clause 10.4.3 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and (ii) existing buildings are consistent with the setback required by clause 10.4.3 A1 and A2; (b) be required for public use by the Crown, a council or a State authority; (c) be required for the provision of Utilities; or (d) be for the consolidation of a lot with another lot provided each lot is within the same zone. | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) the relevant requirements for development of buildings on the lots; (b) the intended location of buildings on the lots; (c) the topography of the site; (d) adequate provision of private open space; (e) the pattern of development existing on established properties in the area; and (f) any constraints to development, (g) and must have an area not less than 8000m². |

NOR-S6.8.4 Internal lots

This clause is an addition to General Residential Zone– clause 8.6.1 Lot design.

| <p>Objective:</p> | <p>That subdivision layout of land outside the precinct masterplans in Figures NOR-S6.2.2 and NOR-S6.2.3:</p> <ul style="list-style-type: none"> (a) minimises internal lots; (b) is consistent with existing patterns of residential development in the surrounding area; and (c) retains the rural township character. |
|---|---|
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>No Acceptable Solution.</p> | <p>P1</p> <p>Each internal lot, or an internal lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) consistency with existing patterns of residential development of the surrounding area; (b) the lot gaining access from a road existing prior to the planning scheme coming into effect; (c) site constraints making an internal lot configuration the only reasonable option to efficiently use the land; (d) the lot contributing to the more efficient use of residential land and infrastructure; (e) the amenity of adjacent lots not being unreasonably affected by subsequent development and use; (f) the lot having access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m; (g) passing bays being provided at appropriate distances to service the likely future use of the lot; (h) the access strip being adjacent to or combined with no more than three other internal lot access strips provided that it is otherwise not appropriate to provide access via a public road; (i) the lot addressing and providing for passive surveillance of public open space and public rights of way if it fronts such public spaces; |

| | |
|--|--|
| | <ul style="list-style-type: none"> (j) the relevant requirements for development of buildings on the lots; (k) the intended location of buildings on the lots; (l) the topography of the site; (m) the presence of any natural hazards; (n) adequate provision of private open space; and (o) the pattern of development existing on established properties in the area. |
|--|--|

NOR-S6.8.5 Roads

This clause is in substitution for General Residential Zone – clause 8.6.2 Roads.

| | |
|-------------------|--|
| Objective: | <p>That the arrangement of new roads within a subdivision provides for:</p> <ul style="list-style-type: none"> (a) safe, convenient and efficient connections to assist accessibility and mobility of the community; (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; (c) adequate areas for the planting of street trees in the road reserve; and (d) the efficient ultimate subdivision of the entirety of the land and of surrounding land. |
|-------------------|--|

| Acceptable Solutions | Performance Criteria |
|--|---|
| <p>A1</p> <p>The subdivision includes no new roads.</p> | <p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <ul style="list-style-type: none"> (a) any road network plan adopted by the council; (b) the existing and proposed road hierarchy; (c) the need for connecting roads and pedestrian and cycling paths to common boundaries with adjoining land to facilitate future subdivision potential; (d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; (e) minimising the travel distance between key destinations such as shops and services and public transport routes; (f) access to public transport; |

| | |
|---|--|
| | <ul style="list-style-type: none"> (g) the efficient and safe movement of pedestrians, cyclists and public transport; (h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance with the <i>Guide to Road Design Part 6A: Paths for Walking and Cycling 2016</i>; (i) the topography of the site; and (j) the future subdivision potential of any balance lots on adjoining or adjacent land. |
| <p>A2</p> <p>Where the subdivision plan includes one or more new roads, street trees must be provided within the road reserve:</p> <ul style="list-style-type: none"> (a) at intervals of not less than 10m measured between the centre of each trunk; or (b) at intervals not less than the canopy diameter of the tree species at maturity; and (c) in locations where sight distances to vehicle access points are compliant with the following: <ul style="list-style-type: none"> (i) in the case of non-commercial vehicle accesses, <i>Australian Standard AS 2890.1:2004, Parking Facilities, Part 1: Off-street car parking, section 3, Access Facilities to Off-street Parking Areas and Queuing Areas</i>; and (ii) in the case of commercial vehicle accesses, <i>Australian Standard AS 2890.2:2002, Parking facilities Part 2: Off-street commercial vehicle facilities</i>. | <p>P2</p> <p>No Performance Criterion.</p> |

NOR-S6.9 Tables

This sub-clause is not used in this specific area plan.

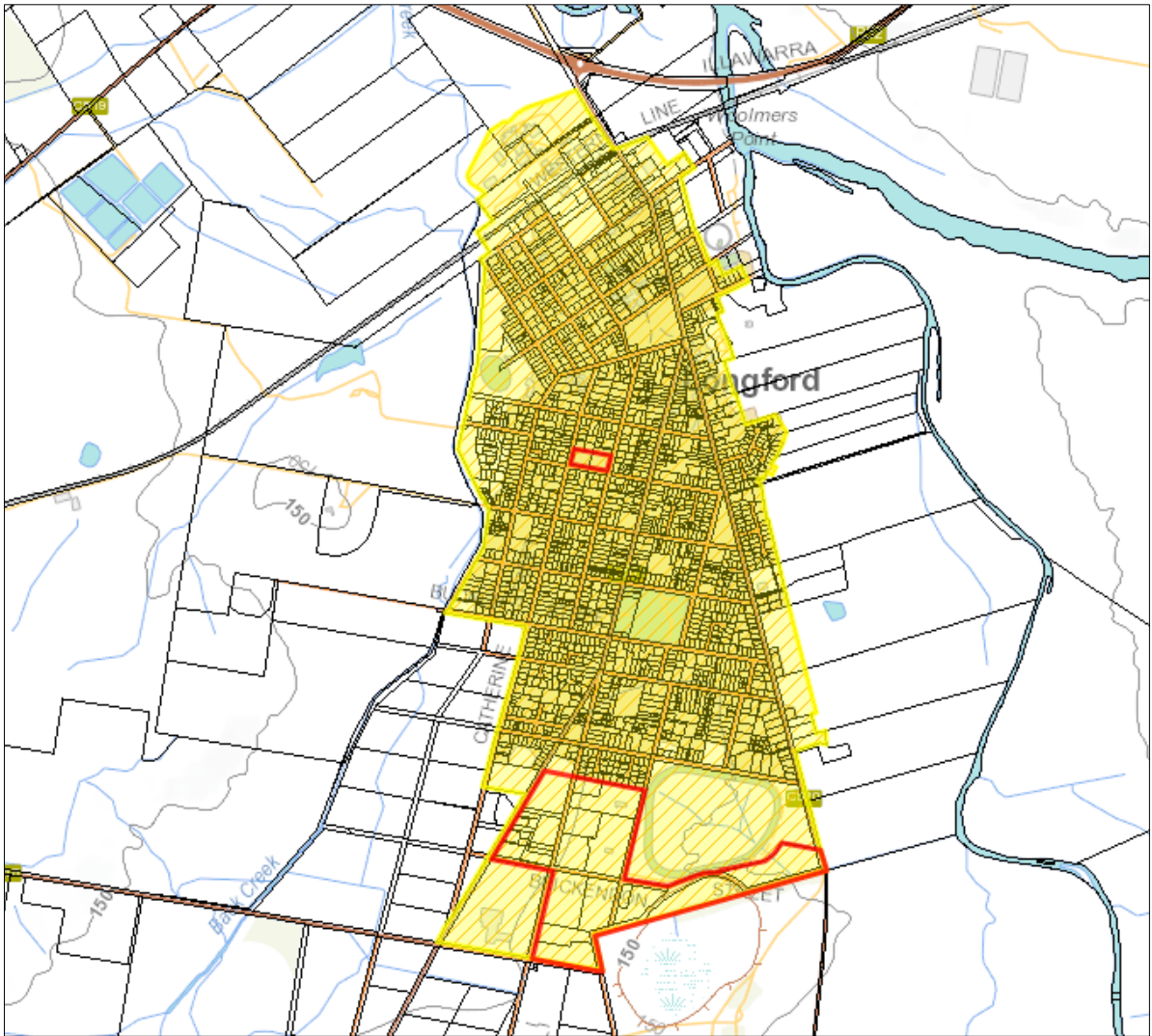


Figure NOR-S6.2.1 Longford Specific Area Plan shown in light yellow as required by clause NOR-S6.2.1, with precinct development masterplan locations outlined in red



Figure NOR-S6.2.2 Pultney Street Development Precinct Masterplan (outlined in black) as required by clause NOR-S6.2.2, clause NOR-S6.8.1 A1 and P1, and clause NOR-S6.8.4

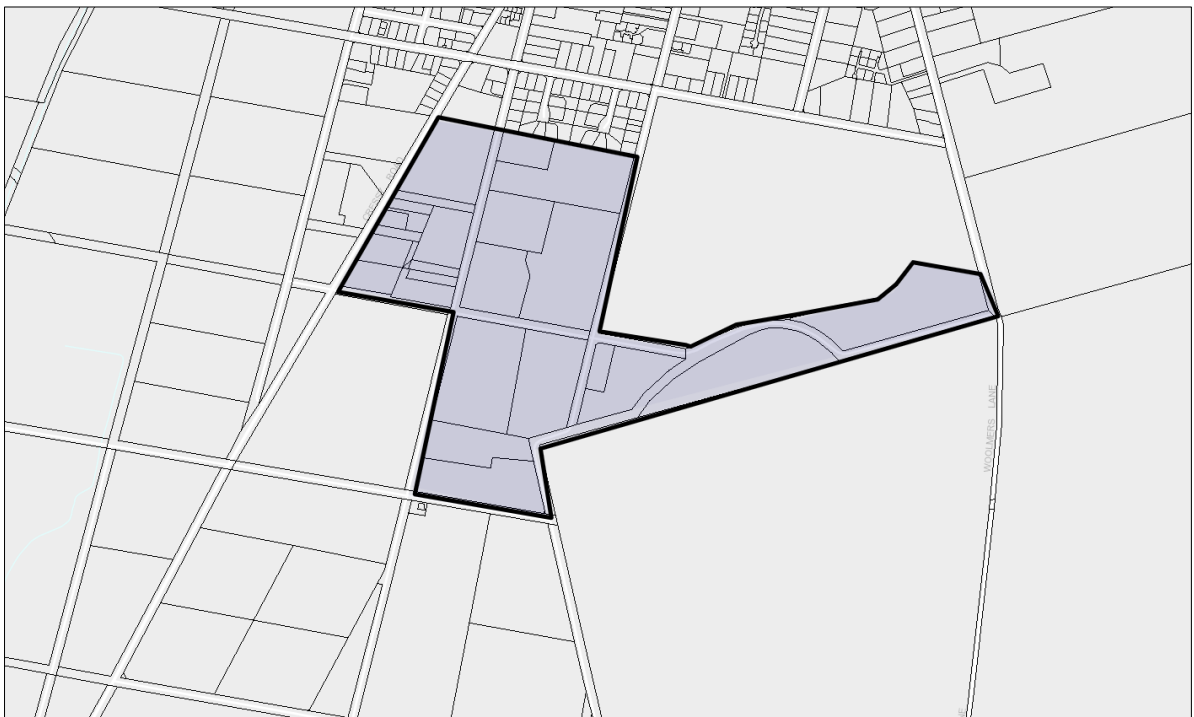


Figure NOR-S6.2.3 Low Density Residential Rural Fringe Development Precinct Masterplan (outlined in black) as required by clause NOR-S6.2.3, and clause NOR-S6.8.3

NOR-S7.0 Perth Specific Area Plan

NOR-S7.1 Plan Purpose

The purpose of the Perth Specific Area Plan is:

- NOR-S7.1.1 To provide for residential use and development that is compatible with the unique and intact history and rural character of the town, its landscape setting along the riverbank and its views to the Ben Lomond Ranges and the Western Tiers.
- NOR-S7.1.2 To provide for public and private transport links to Launceston.
- NOR-S7.1.3 To provide for the subdivision of key development sites and provide for appropriately located public open space for good pedestrian connectivity within Perth and to the river precinct.
- NOR-S7.1.4 To encourage subdivision that provides for large lots and minimises internal lots.
- NOR-S7.1.5 That as part of any new subdivision new trees are provided to increase the township's tree canopy cover.

NOR-S7.2 Application of this Plan

- NOR-S7.2.1 The specific area plan applies to the area of land designated as NOR-S7.0 Perth Specific Area Plan on the overlay maps and in Figure NOR-S7.2.1.
- NOR-S7.2.2 Precinct Plan NOR-S7.2.2 applies to the area of land designated as Seccombe Street Development Precinct Masterplan on the overlay maps and in Figure NOR-S7.2.2.
- NOR-S7.2.3 Precinct Plan NOR-S7.2.3 applies to the area of land designated as George and Fairtlough Streets Development Precinct Masterplan on the overlay maps and in Figure NOR-S7.2.3.
- NOR-S7.2.4 Precinct Plan NOR-S7.2.4 applies to the area of land designated as Napoleon and Drummond Streets Development Precinct Masterplan on the overlay maps and in Figure NOR-S7.2.4.
- NOR-S7.2.5 In the area of land this plan applies to, the provisions of the specific area plan are in substitution for, and in addition to the provisions of:
 - (a) General Residential Zone;
 - (b) Low Density Residential Zone; and
 - (c) Open Space Zone,as specified in the relevant provisions.

NOR-S7.3 Local Area Objectives

This sub-clause is not used in this specific area plan.

NOR-S7.4 Definition of Terms

This sub-clause is not used in this specific area plan.

NOR-S7.5 Use Table

This clause is a substitution for Low Density Residential Zone – 10.2 Use Table.

| Use Class | Qualification |
|--|--|
| No Permit Required | |
| Natural and Cultural Values Management | |
| Passive Recreation | |
| Residential | If for a single dwelling. |
| Utilities | If for minor utilities. |
| Permitted | |
| Residential | If for a home based business. |
| Visitor Accommodation | |
| Discretionary | |
| Business and Professional Services | If for a consulting room, medical centre, veterinary centre, child health clinic or for the provision of residential support services. |
| Community Meeting and Entertainment | If for a place of worship, art and craft centre or public hall. |
| Educational and Occasional Care | If not for a tertiary institution. |
| Emergency Services | |
| Food Services | If not for a take away food premises with a drive through facility. |
| General Retail and Hire | If for a local shop. |
| Sports and Recreation | If for a fitness centre, gymnasium, public swimming pool or sports ground. |
| Utilities | If not listed as No Permit Required. |
| Prohibited | |
| All other uses | |

NOR-S7.6 Use Standards

This sub-clause is not used in this specific area plan.

NOR-S7.7 Development Standards for Buildings and Works

NOR-S7.7.1 Residential density for multiple dwellings

This clause is a substitution for General Residential Zone – clause 8.4.1 Residential density for multiple dwellings.

| Objective: | <p>That the density of multiple dwellings:</p> <ul style="list-style-type: none"> (a) makes efficient use of land for housing, (b) maintains the rural character of Perth; and (c) optimises the use of infrastructure and community services. |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Multiple dwellings must have a site area per dwelling of not less than 400m².</p> | <p>P1</p> <p>Multiple dwellings must only have a site area per dwelling that is less than 400m², if the development will not exceed the capacity of infrastructure services and:</p> <ul style="list-style-type: none"> (a) is compatible with the density of existing development on established properties within the area; or (b) provides for a significant social or community benefit and is: <ul style="list-style-type: none"> (i) wholly or partly within 400m walking distance of a public transport stop; or (ii) wholly or partly within 400m walking distance of a Village Zone, Local Business Zone, or General Business Zone. |

NOR-S7.8 Development Standards for Subdivision

NOR-S7.8.1 Lot design in development precincts

This clause is in substitution for General Residential Zone – clause 8.6.1 Lot design, and Open Space Zone – clause 29.5.1 Lot design.

| Objective: | That each development precinct creates an efficient lot design that provides connectivity and optimal location for public open space compatible with the rural township character. | |
|---|--|----------------------|
| Acceptable Solutions | | Performance Criteria |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be in accordance with the lot layout shown in the Precinct Masterplans in Figures NOR-S7.2.2, NOR-S7.2.3 and NOR-S7.2.4.</p> | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be consistent with the rural township character and provide an optimal location for public open space, having regard to:</p> <ul style="list-style-type: none"> (a) lot layout shown in the applicable precinct masterplans in Figures NOR-S7.2.2, NOR-S7.2.3 and NOR-S7.2.4; (b) the road network as north south grid; (c) fronting new lots onto existing roads where possible; (d) minimising cul-de-sacs; (e) the provision of public open spaces that facilitate pedestrian loops around the town; (f) creating connections between new and existing public open spaces; (g) creating road frontages around public open spaces; (h) using public open spaces for stormwater detention; (i) the relevant requirements for development of buildings on the lots; (j) the intended location of buildings on the lots; and (k) the pattern of development existing on established properties within the area. | |

NOR-S7.8.2 Lot design

This clause is in substitution for General Residential Zone – clause 8.6.1 Lot design.

| <p>Objective:</p> | <p>That each lot:</p> <ul style="list-style-type: none"> (a) has an area and dimensions appropriate for the use and development; (b) is provided with appropriate access to a road; (c) contains areas which are suitable for development appropriate to the purpose of the zone and specific area plan, located to avoid natural hazards; and (d) is oriented to provide solar access for future dwellings. |
|--|---|
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must:</p> <ul style="list-style-type: none"> (a) have an area of not less than 600m² and: <ul style="list-style-type: none"> (i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of: <ul style="list-style-type: none"> a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and (ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; or (b) be required for public use by the Crown, a council or a State authority; or (c) be required for the provisions of Utilities; or (d) be for the consolidation of a lot with another lot provided each lot is within the same zone. | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) the relevant requirements for development of buildings on the lots; (b) the intended location of buildings on the lots; (c) the topography of the site; (d) the presence of any natural hazards; (e) adequate provision of private open space; and (f) the pattern of development existing on established properties within the area. |

NOR-S7.8.3 Internal lots

This clause is an addition to General Residential Zone– clause 8.6.1 Lot design.

| <p>Objective:</p> | <p>That subdivision layout of land outside the precinct masterplans in Figures NOR-S7.2.2, NOR-S7.2.3 and NOR-S7.2.4:</p> <ul style="list-style-type: none"> (a) minimises internal lots; (b) is consistent with existing patterns of residential development in the surrounding area; and (c) retains the rural township character. |
|---|---|
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>No Acceptable Solution.</p> | <p>P1</p> <p>Each internal lot, or an internal lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) consistency with existing patterns of residential development of the surrounding area; (b) the lot gaining access from a road existing prior to the planning scheme coming into effect; (c) site constraints making an internal lot configuration the only reasonable option to efficiently use the land; (d) the lot contributing to the more efficient use of residential land and infrastructure; (e) the amenity of adjacent lots not being unreasonably affected by subsequent development and use; (f) the lot having access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m; (g) passing bays being provided at appropriate distances to service the likely future use of the lot; (h) the access strip being adjacent to or combined with no more than three other internal lot access strips provided that it is otherwise not appropriate to provide access via a public road; (i) the lot addressing and providing for passive surveillance of public open space and public rights of way if it fronts such public spaces; |

| | |
|--|--|
| | <ul style="list-style-type: none"> (j) the relevant requirements for development of buildings on the lots; (k) the intended location of buildings on the lots; (l) the topography of the site; (m) the presence of any natural hazards; (n) adequate provision of private open space; and (o) the pattern of development existing on established properties in the area. |
|--|--|

NOR-S7.8.4 Roads

This clause is in substitution for General Residential Zone – clause 8.6.2 Roads and Low Density Residential Zone – clause 10.6.2 Roads.

| Objectives: | <p>That the arrangement of new roads within a subdivision provides for:</p> <ul style="list-style-type: none"> (a) safe, convenient and efficient connections to assist accessibility and mobility of the community; (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; (c) adequate areas for the planting of street trees in the road reserve; and (d) the efficient ultimate subdivision of the entirety of the land and of surrounding land. |
|--|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>The subdivision includes no new roads.</p> | <p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <ul style="list-style-type: none"> (a) any road network plan adopted by the council; (b) the existing and proposed road hierarchy; (c) the need for connecting roads and pedestrian and cycling paths to common boundaries with adjoining land to facilitate future subdivision potential; (d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; (e) minimising the travel distance between key destinations such as shops and services and public transport routes; |

| | |
|---|---|
| | <ul style="list-style-type: none"> (f) access to public transport; (g) the efficient and safe movement of pedestrians, cyclists and public transport; (h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance with the <i>Guide to Road Design Part 6A: Paths for Walking and Cycling 2016</i>; (i) the topography of the site; and (j) the future subdivision potential of any balance lots on adjoining or adjacent land. |
| <p>A2</p> <p>Where the subdivision plan includes one or more new roads, street trees must be provided within the road reserve:</p> <ul style="list-style-type: none"> (a) at intervals of not less than 10m measured between the centre of each trunk; or (b) at intervals not less than the canopy diameter of the tree species at maturity; and (c) in locations where sight distances to vehicle access points are compliant with the following: <ul style="list-style-type: none"> (i) in the case of non-commercial vehicle accesses, <i>Australian Standard AS 2890.1:2004, Parking Facilities, Part 1: Off-street car parking, section 3, Access Facilities to Off-street Parking Areas and Queuing Areas</i>; and (ii) in the case of commercial vehicle accesses, <i>Australian Standard AS 2890.2:2002, Parking facilities Part 2: Off-street commercial vehicle facilities</i>. | <p>P2</p> <p>No Performance Criterion.</p> |

NOR-S7.9 Tables

This sub-clause is not used in this specific area plan.

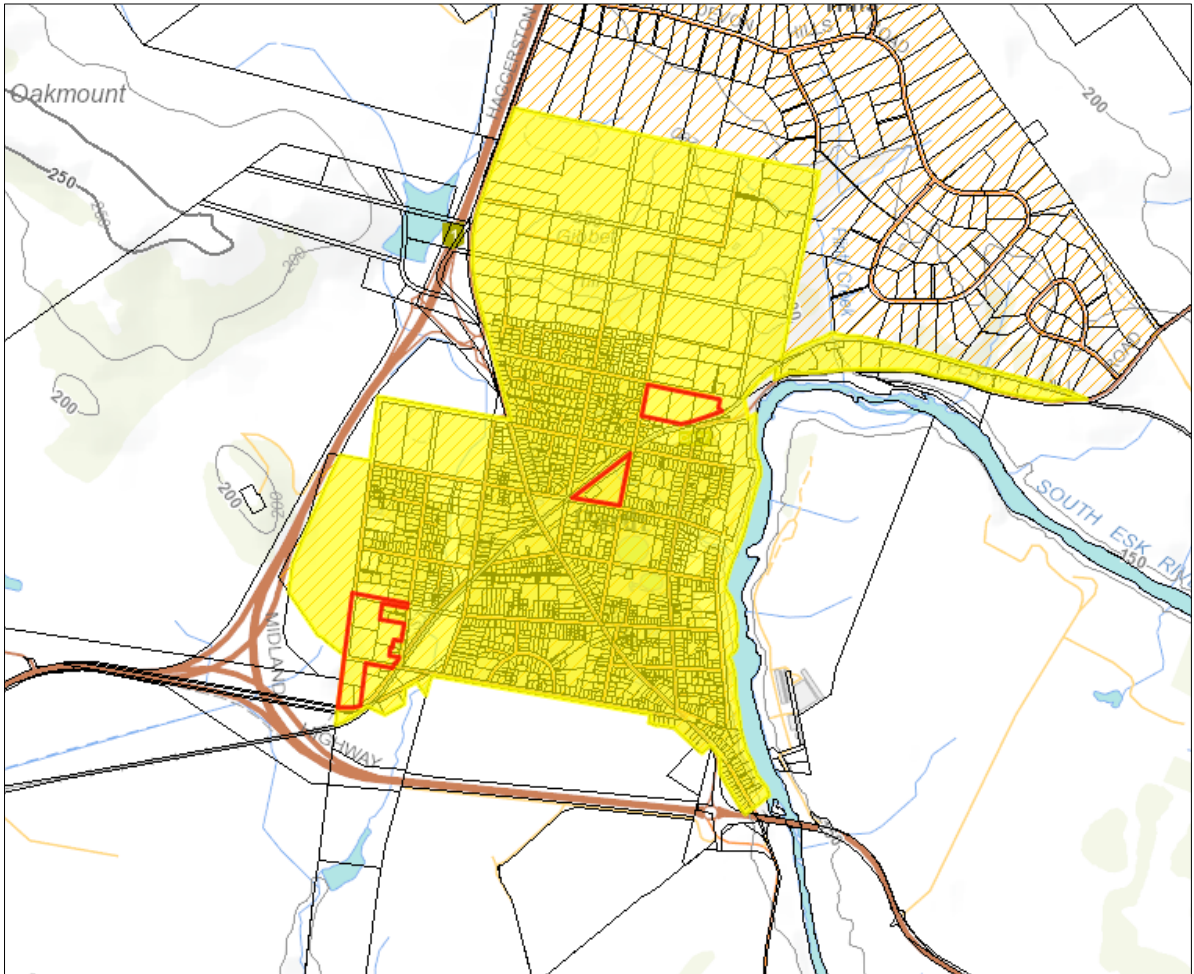


Figure NOR-S7.2.1 Perth Specific Area Plan shown in light yellow as required by clause NOR-S7.2.1, with precinct development masterplan locations outlined in red



Figure NOR-S7.2.2 Secombe Street Development Precinct Masterplan (outlined in black) as required by clause NOR-S7.2.2, clause NOR-S7.8.1 A1 and P1, and clause NOR-S7.8.3

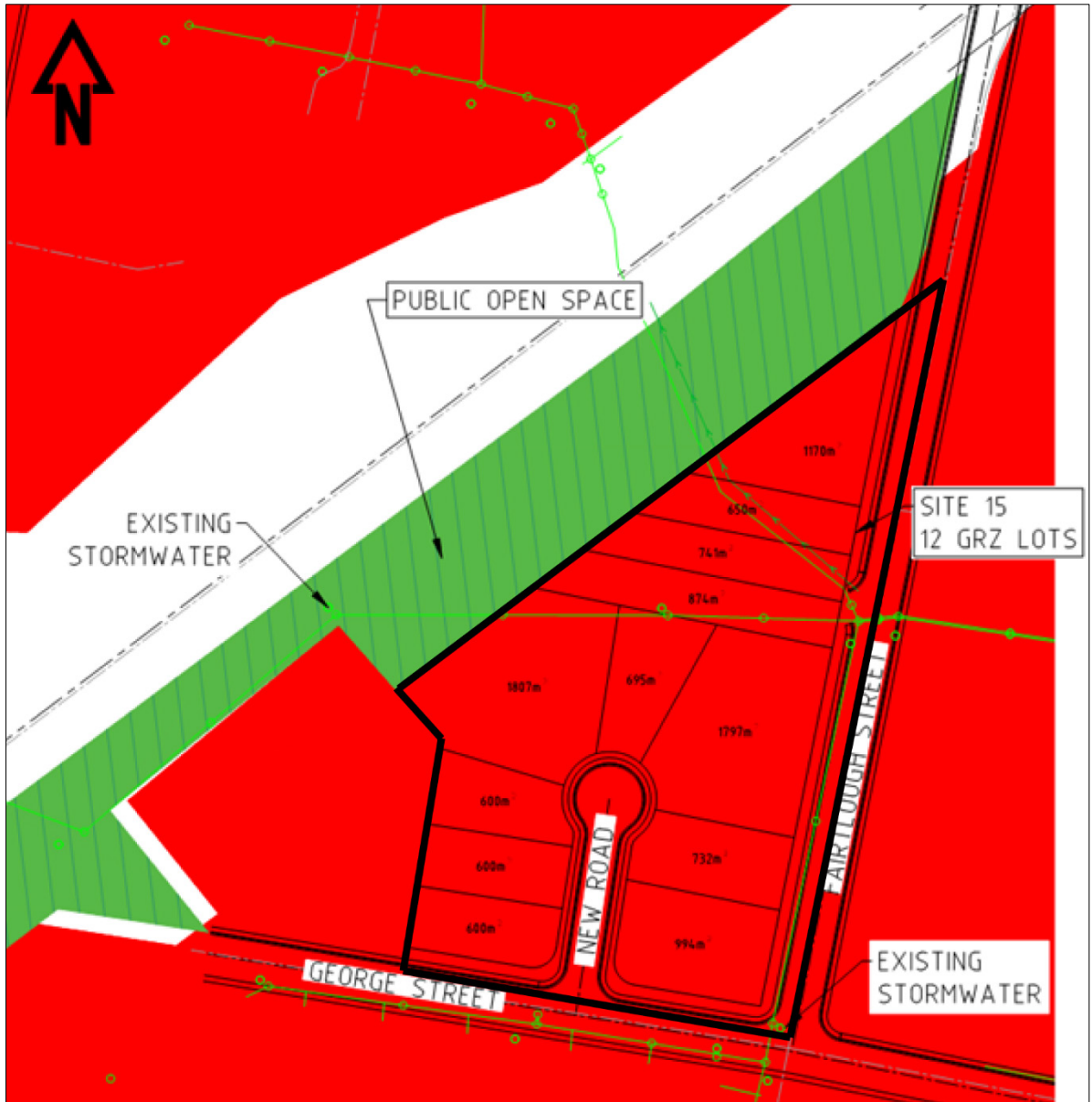


Figure NOR-S7.2.3 - George and Fairtlough Streets Development Precinct Masterplan (outlined in black) as required by clause NOR-S7.2.2, clause NOR-S7.8.1 A1 and P1, and clause NOR-S7.8.3

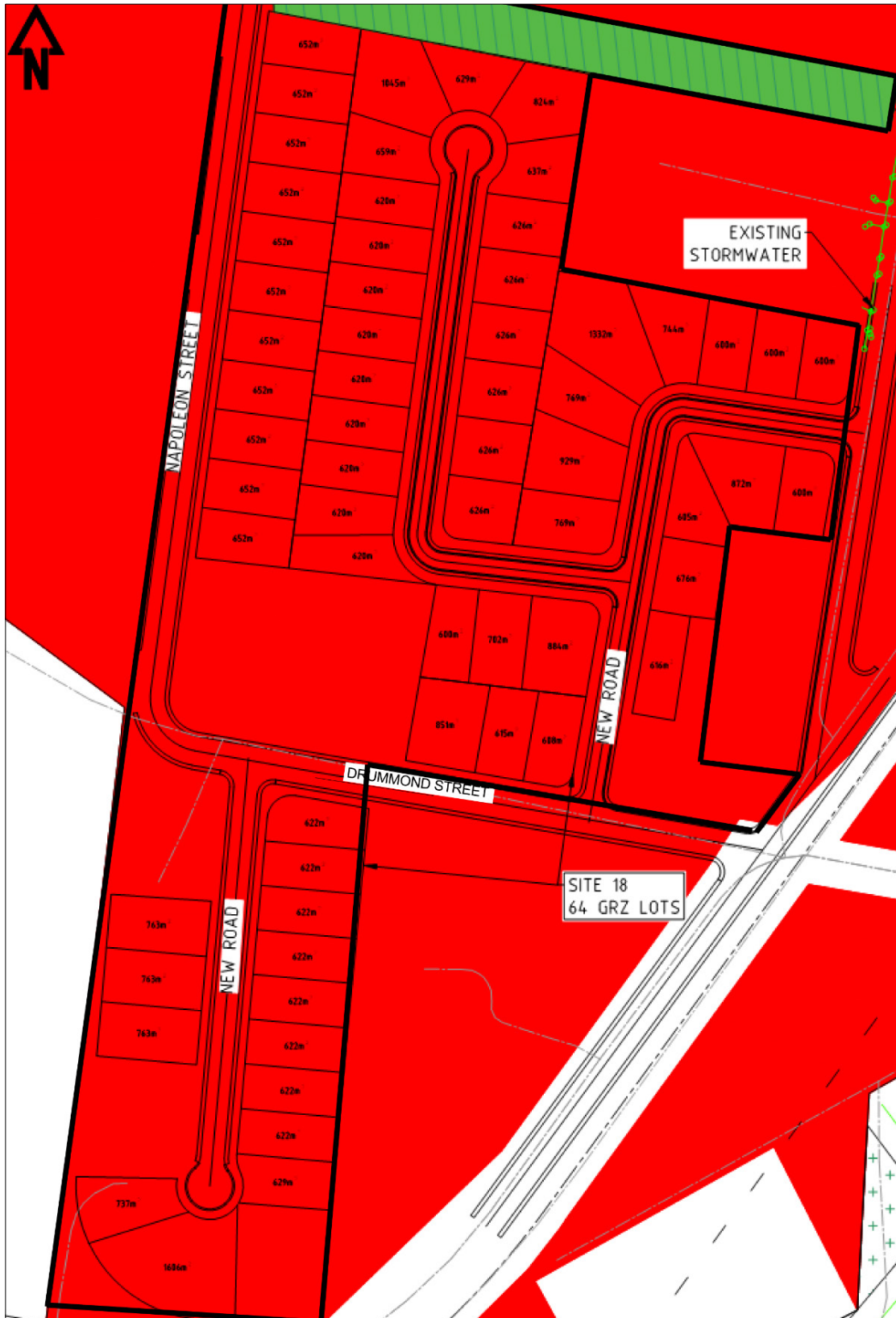


Figure NOR-S7.2.4 Napoleon and Drummond Streets Development Precinct Masterplan (outlined in black) as required by clause NOR-S7.2.2, clause NOR-S7.8.1 A1 and P1, and clause NOR-S7.8.3

NOR-S8.0 Ross Specific Area Plan

NOR-S8.1 Plan Purpose

The purpose of the Ross Specific Area Plan is:

- NOR-S8.1.1 To protect and enhance the unique and intact history and character of the town.
- NOR-S8.1.2 To provide for residential use and development that is compatible with the existing streetscape settings, building forms and the rural village character.
- NOR-S8.1.3 To provide for the subdivision of key development sites and provide for appropriately located public open space.
- NOR-S8.1.4 To provide for community events.
- NOR-S8.1.5 To encourage the provision of appropriate tourism infrastructure.
- NOR-S8.1.6 To encourage subdivision that provides for large lots and minimises internal lots.
- NOR-S8.1.7 That as part of any new subdivision, new trees are provided to increase the township's tree canopy cover that is consistent with the historic tree lined streetscapes.

NOR-S8.2 Application of this Plan

- NOR-S8.2.1 The specific area plan applies to the area of land designated as NOR-S8.0 Ross Specific Area Plan on the overlay map and in Figure S8.2.1.
- NOR-S8.2.2 Precinct Plan NOR-S8.2.2 applies to the area of land designated as Bond Street 1 Development Precinct Masterplan.
- NOR-S8.2.3 Precinct Plan NOR-S8.2.3 applies to the area of land designates as Badajos Street Development Precinct Masterplan.
- NOR-S8.2.4 Precinct Plan NOR-S8.2.4 applies to the area of land designated as Bond Street 2 Development Precinct Masterplan.
- NOR-S8.2.5 Precinct Plan NOR-S8.2.5 applies to the area of land designated as Bond Street 3 Development Precinct Masterplan.
- NOR-S8.2.6 In the area of land this plan applies to, the provisions of the specific area plan are in substitution for, and in addition to the provisions of:
 - (a) General Residential Zone; and
 - (b) Open Space Zoneas specified in the relevant provision.

NOR-S8.3 Local Area Objectives

This sub-clause is not used in this specific area plan.

NOR-S8.4 Definition of Terms

This sub-clause is not used in this specific area plan.

NOR-S8.5 Use Table

This sub-clause is not used in this specific area plan.

NOR-S8.6 Use Standards

This sub-clause is not used in this specific area plan.

NOR-S8.7 Development Standards for Buildings and Works

NOR-S8.7.1 Residential density for multiple dwellings

This clause is in substitution for General Residential Zone – clause 8.4.1 Residential density for multiple dwellings.

| Objective: | That the density of multiple dwellings: <ul style="list-style-type: none"> (a) makes efficient use of land for housing; (b) maintains the historic and rural village character of Ross; and (c) optimises the use of infrastructure and community services. |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Multiple dwellings must have a site area per dwelling of not less than 400m².</p> | <p>P1</p> <p>Multiple dwellings must only have a site area per dwelling that is less than 400m², if the development will not exceed the capacity of infrastructure services and:</p> <ul style="list-style-type: none"> (a) is compatible with the density of existing development on established properties within the area; or (b) provides for a significant social or community benefit and is: <ul style="list-style-type: none"> (i) wholly or partly within 400m walking distance of a public transport stop; or (ii) wholly or partly within 400m walking distance of a Village Zone, Local Business Zone, or General Business Zone. |

NOR-S8.7.2 Roof Form and Materials

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| Objective: | That roof form and materials are designed to be compatible with, and not detract from, the existing character of the streetscape or townscape. |
|---|--|
| Acceptable Solutions | Performance Criteria |
| <p>A1</p> <p>Roof form for new buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be as per the roof forms shown in Figure NOR-S8.7.2, with the roof pitch being within a range of 22.5 – 40 degrees.</p> | <p>P1</p> <p>Roof form for new buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be compatible with, and not detract from, the existing streetscape or rural village character, having regard to:</p> <ul style="list-style-type: none"> (a) the design and period of construction of the existing buildings in the street; (b) the design and period of construction of the existing buildings or rural village character; and (c) visibility from any road or public open space. |

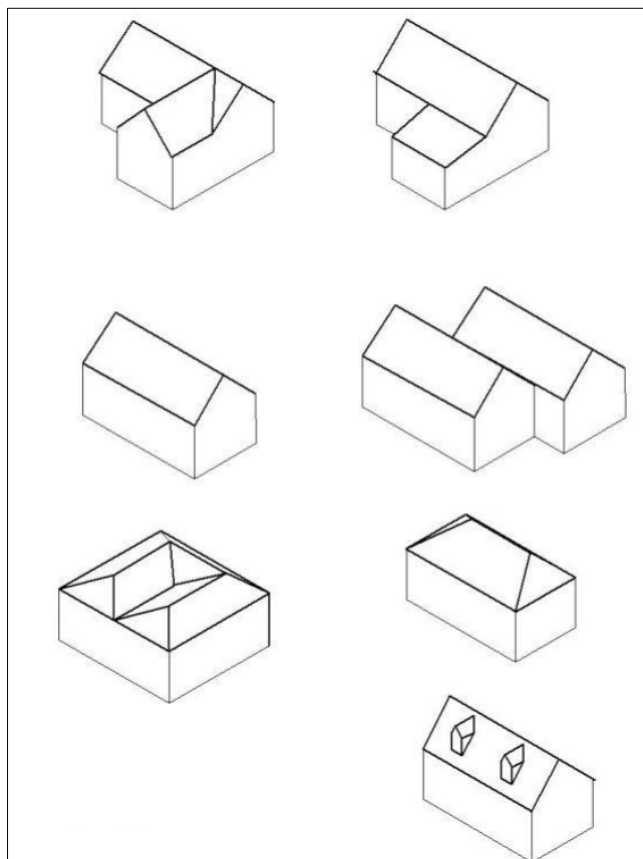


Figure NOR-S8.7.2 Roof forms as required by clause NOR-S8.7.2 A1

NOR-S8.7.3 Wall Materials

This clause is in addition to General Residential Zone – clause 8. 4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| | | |
|--|---|-----------------------------|
| Objective: | That wall materials used are compatible with the existing streetscape or rural village character. | |
| Acceptable Solutions | | Performance Criteria |
| <p>A1</p> <p>Wall materials, excluding outbuildings, places listed in Table C6.1, and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be of a form and material that matches the existing building or not be visible from any road or public open space adjoining the site.</p> | <p>P1</p> <p>Wall materials of buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings on the site and in the street, and be compatible with the design and period of construction of the existing buildings or rural village character, having regard to:</p> <ul style="list-style-type: none"> (a) use of bull-nosed timber weatherboards, or materials that have the appearance of bull-nosed timber weatherboards; or (b) use of brickwork with mortar of a neutral earth colour and struck flush with the brickwork; or (c) use of concrete blocks specifically chosen to: <ul style="list-style-type: none"> (i) blend with dressed sandstone; or (ii) rendered with coloured finishes in neutral earth tones. | |

NOR-S8.7.4 Windows

This clause is in addition to General Residential Zone – clause 8. 4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| | | |
|--|--|-----------------------------|
| Objectives: | That window form and details are consistent with the streetscape or rural village character. | |
| Acceptable Solutions | | Performance Criteria |
| <p>A1</p> <p>Window heads in all buildings, excluding places listed in Table C6.1 and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be a minimum of 300mm below the eaves line, or match existing the level of the window heads in the existing building.</p> | <p>P1</p> <p>No Performance Criterion.</p> | |

| | |
|--|---|
| <p>A2</p> <p>Windows in a façade facing a frontage, excluding places listed in Table C6.1 and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must have no greater than 30% of the total surface area consisting of windows</p> | <p>P2</p> <p>Windows in the front façade of a building, excluding places listed in Table C6.1 and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings in the street.</p> |
| <p>A3</p> <p>Windows for new buildings and extensions to existing buildings, or alterations to existing buildings, excluding places listed in Table C6.1 and sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must not be visible from public spaces.</p> | <p>P3</p> <p>Windows for new buildings and extensions to existing buildings, or alterations to existing buildings, excluding places listed in Table C6.1 and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings in the street, having regard to:</p> <ul style="list-style-type: none"> (a) the period and style of the building; (b) the use of multi-pane sashes conforming to the patterns per sash with size and profile glazing bars as shown in Figure NOR-S5.7.4 (b); (c) the use of projecting brick or stone sills that match the existing if in a brick or masonry building; (d) the use clear glass; and (e) the division of large areas of glass panelling with vertical mullions to achieve a vertical orientation of glazing. |

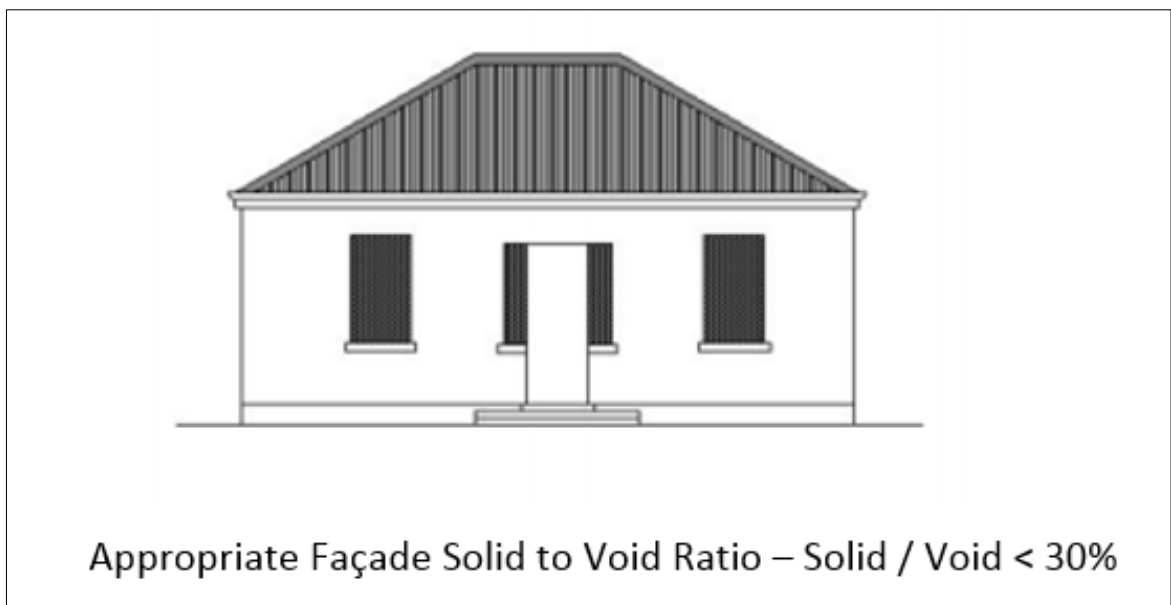


Figure NOR-S8.7.4 (a) Window/Void ratio as required by clause NOR-S5.7.4 A2

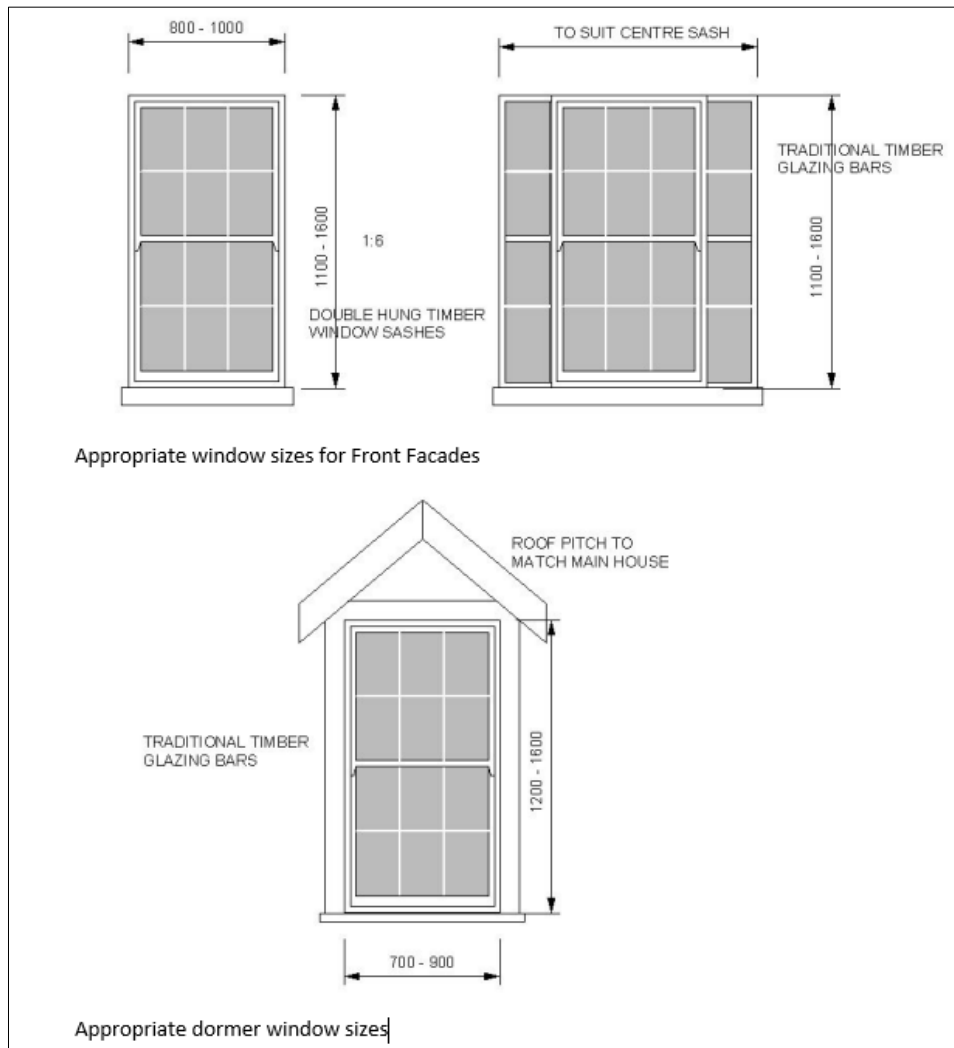


Figure NOR-S8.7.4 (b) Window shapes and styles as required by clause NOR-S5.7.4 A2

NOR-S8.8 Development Standards for Subdivision

NOR-S8.8.1 Lot design in development precincts

This clause is in addition to General Residential Zone – clause 8.6.1 Lot design, Open Space Zone – clause 29.5.1 Lot design, and in substitution for Local Historic Heritage Code clause C6.10.2 Lot design for a Local Heritage Precinct or a Local Historic Landscape.

| | | |
|---|--|--|
| Objective: | That each development precinct creates an efficient lot design that provides connectivity and optimal location for public open space compatible with the rural township character. | |
| Acceptable Solutions | Performance Criteria | |
| A1 Each lot, or a lot proposed in a plan of subdivision, must be in accordance with the lot layout shown in | P1 Each lot, or a lot proposed in a plan of subdivision, must be consistent with the rural township character | |

| | |
|--|--|
| <p>the Precinct Masterplan in Figures NOR-S8.2.2, NOR-S8.2.3, NOR-S8.2.4 and NOR-S8.2.5.</p> | <p>and provide an optimal location for public open space, having regard to:</p> <ul style="list-style-type: none"> (a) lot layout shown in the applicable precinct masterplans in Figures NOR-S8.2.2, NOR-S8.2.3, NOR-S8.2.4 and NOR-S8.2.5; (b) the road network as north south grid; (c) fronting new lots onto existing roads where possible; (d) minimising cul-de-sacs; (e) the provision of public open spaces that facilitate pedestrian loops around the town; (f) creating connections between new and existing public open spaces; (g) creating road frontages around public open spaces; (h) using public open spaces for stormwater detention; (i) the relevant requirements for development of buildings on the lots; (j) the intended location of buildings on the lots; and (k) the pattern of development existing on established properties within the area. |
|--|--|

NOR-S8.8.2 Lot design

This clause is in substitution for General Residential Zone – clause 8.6.1 Lot design.

| <p>Objectives:</p> | <p>That each lot:</p> <ul style="list-style-type: none"> (a) to have an area and dimension appropriate for the use and development; (b) to be provided with appropriate access to a road; (c) to contain areas which are suitable for development appropriate to the purpose of the zone and specific area plan, located to avoid natural hazards; and (d) is oriented to provide solar access for future dwellings. |
|--|--|
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must:</p> <ul style="list-style-type: none"> (a) have an area of not less than 600m² and: <ul style="list-style-type: none"> (i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of: <ul style="list-style-type: none"> a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and (ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; or (b) be required for public use by the Crown, a council or a State authority; or (c) be required for the provisions of Utilities; or (d) be for the consolidation of a lot with another lot provided each lot is within the same zone. | <p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) the relevant requirements for development of buildings on the lots; (b) the intended location of buildings on the lots; (c) the potential for overshadowing of adjoining lots caused by buildings constructed in the likely building site; (d) the topography of the site; (e) the presence of any natural hazards; (f) adequate provision of private open space and solar access; and (g) the pattern of development existing on established properties within the area. |

NOR-S8.8.3 Internal lots

This clause is an addition to General Residential Zone– clause 8.6.1 Lot design.

| <p>Objective:</p> | <p>That subdivision layout of land outside the precinct masterplans in Figures NOR-S8.2.2, NOR-S8.2.3, NOR-S8.2.4 and NOR-S8.2.5:</p> <ul style="list-style-type: none"> (a) minimises internal lots; (b) is consistent with existing patterns of residential development in the surrounding area; and (c) retains the rural township character. |
|---|---|
| <p>Acceptable Solutions</p> | <p>Performance Criteria</p> |
| <p>A1</p> <p>No Acceptable Solution.</p> | <p>P1</p> <p>Each internal lot, or an internal lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) consistency with existing patterns of residential development of the surrounding area; (b) the lot gaining access from a road existing prior to the planning scheme coming into effect; (c) site constraints making an internal lot configuration the only reasonable option to efficiently use the land; (d) the lot contributing to the more efficient use of residential land and infrastructure; (e) the amenity of adjacent lots not being unreasonably affected by subsequent development and use; (f) the lot having access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m; (g) passing bays being provided at appropriate distances to service the likely future use of the lot; (h) the access strip being adjacent to or combined with no more than three other internal lot access strips provided that it is otherwise not appropriate to provide access via a public road; (i) the lot addressing and providing for passive surveillance of public open space and public rights of way if it fronts such public spaces; |

| | |
|--|--|
| | <ul style="list-style-type: none"> (j) the relevant requirements for development of buildings on the lots; (k) the intended location of buildings on the lots; (l) the topography of the site; (m) the presence of any natural hazards; (n) adequate provision of private open space; and (o) the pattern of development existing on established properties in the area. |
|--|--|

NOR-S8.8.4 Roads

This clause is in substitution for General Residential Zone – clause 8.6.2.

| | |
|--------------------|---|
| <p>Objectives:</p> | <p>That the arrangement of new road within a subdivision provides for:</p> <ul style="list-style-type: none"> (a) safe, convenient and efficient connections to assist accessibility and mobility of the community; (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; (c) adequate areas for the planting of street trees in the road reserve; and (d) the efficient ultimate subdivision of the entirety of the land and of surrounding land. |
|--------------------|---|

| Acceptable Solutions | Performance Criteria |
|--|---|
| <p>A1</p> <p>The subdivision includes no new roads.</p> | <p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <ul style="list-style-type: none"> (a) any road network plan adopted by the council; (b) the existing and proposed road hierarchy; (c) the need for connecting roads and pedestrian and cycling paths, to common boundaries with adjoining land, to facilitate future subdivision potential; (d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; (e) minimising the travel distance between key destinations such as shops and services and public transport routes; (f) access to public transport; |

| | |
|---|--|
| | <ul style="list-style-type: none"> (g) the efficient and safe movement of pedestrians, cyclists and public transport; (h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance with the <i>Guide to Road Design Part 6A: Paths for Walking and Cycling 2016</i>; (i) the topography of the site; and (j) the future subdivision potential of any balance lots on adjoining or adjacent land. |
| <p>A2</p> <p>Where the subdivision plan includes one or more new roads, street trees must be provided within the road reserve:</p> <ul style="list-style-type: none"> (a) at intervals of not less than 10m measured between the centre of each trunk; or (b) at intervals not less than the canopy diameter of the tree species at maturity; and (c) in locations where sight distances to vehicle access points are compliant with the following: <ul style="list-style-type: none"> (i) in the case of non-commercial vehicle accesses, <i>Australian Standard AS 2890.1:2004, Parking Facilities, Part 1: Off-street car parking, section 3, Access Facilities to Off-street Parking Areas and Queuing Areas</i>; and (ii) in the case of commercial vehicle accesses, <i>Australian Standard AS 2890.2:2002, Parking facilities Part 2: Off-street commercial vehicle facilities</i>. | <p>P2</p> <p>No Performance Criterion.</p> |

NOR-S8.9 Tables

This sub-clause is not used in this specific area plan.

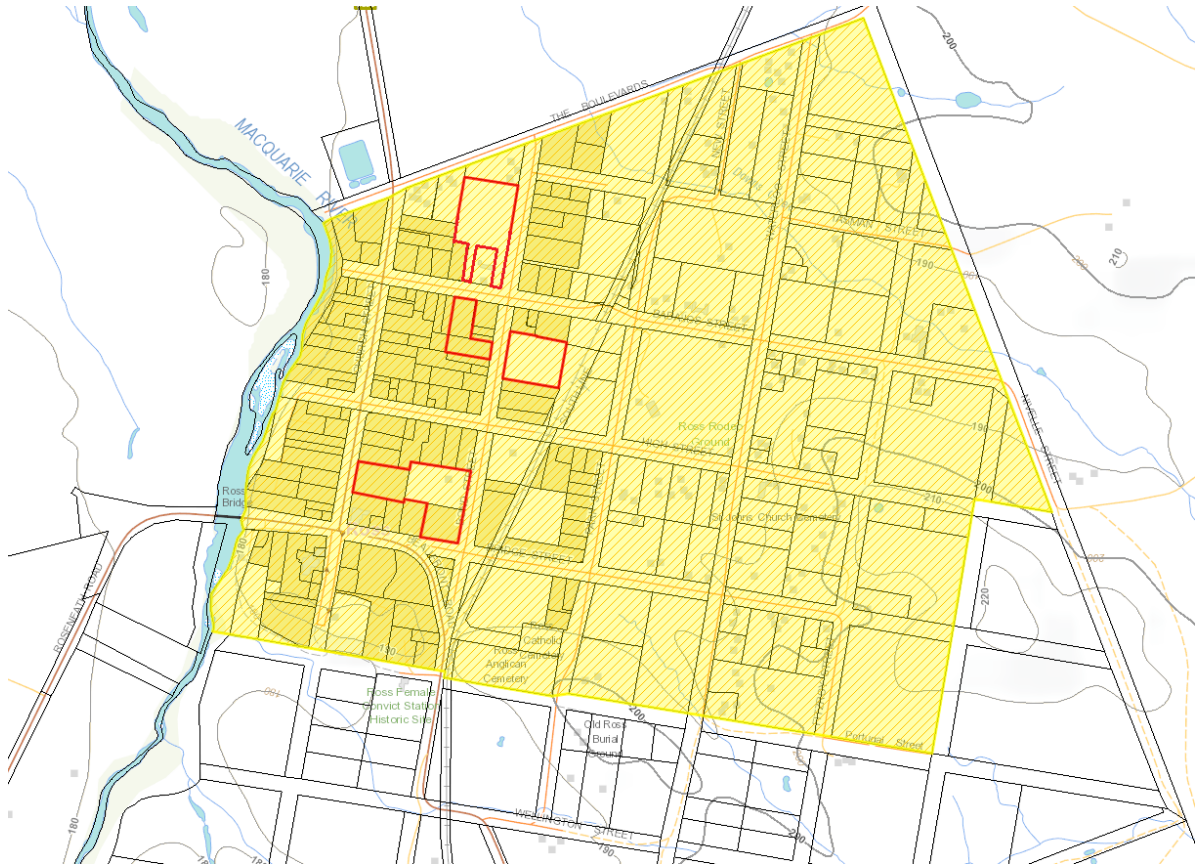


Figure NOR-S8.2.1 Ross Specific Area Plan area highlighted in light yellow as required by clause NOR-S8.2.1, with precinct development masterplan locations outlined in red

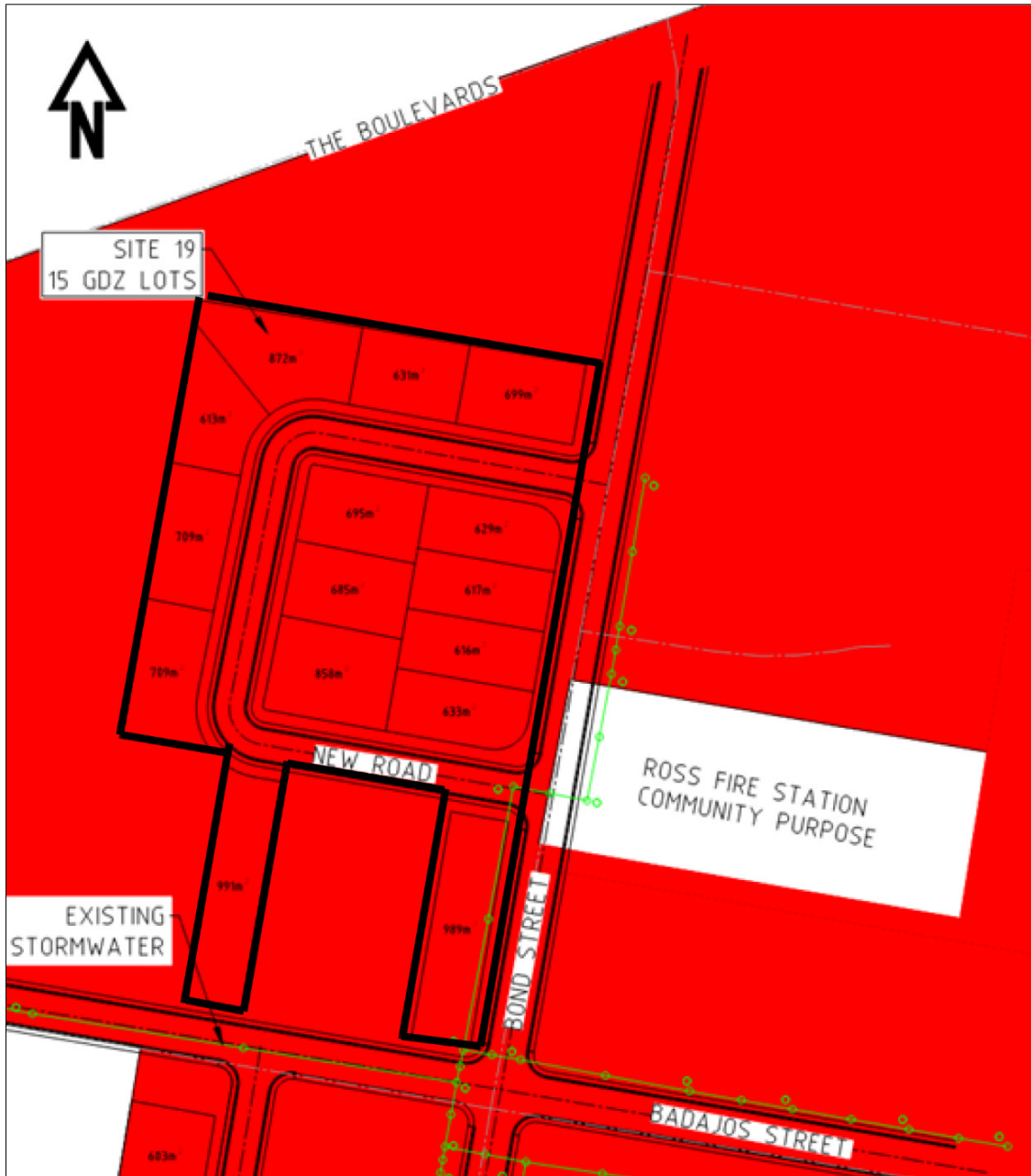


Figure NOR-S8.2.2 Bond Street 1 Development Precinct Masterplan (outlined in black) as required by clause NOR-S8.2.2, clause NOR-S8.8.1 A1 and P1, and clause NOR-S8.8.3

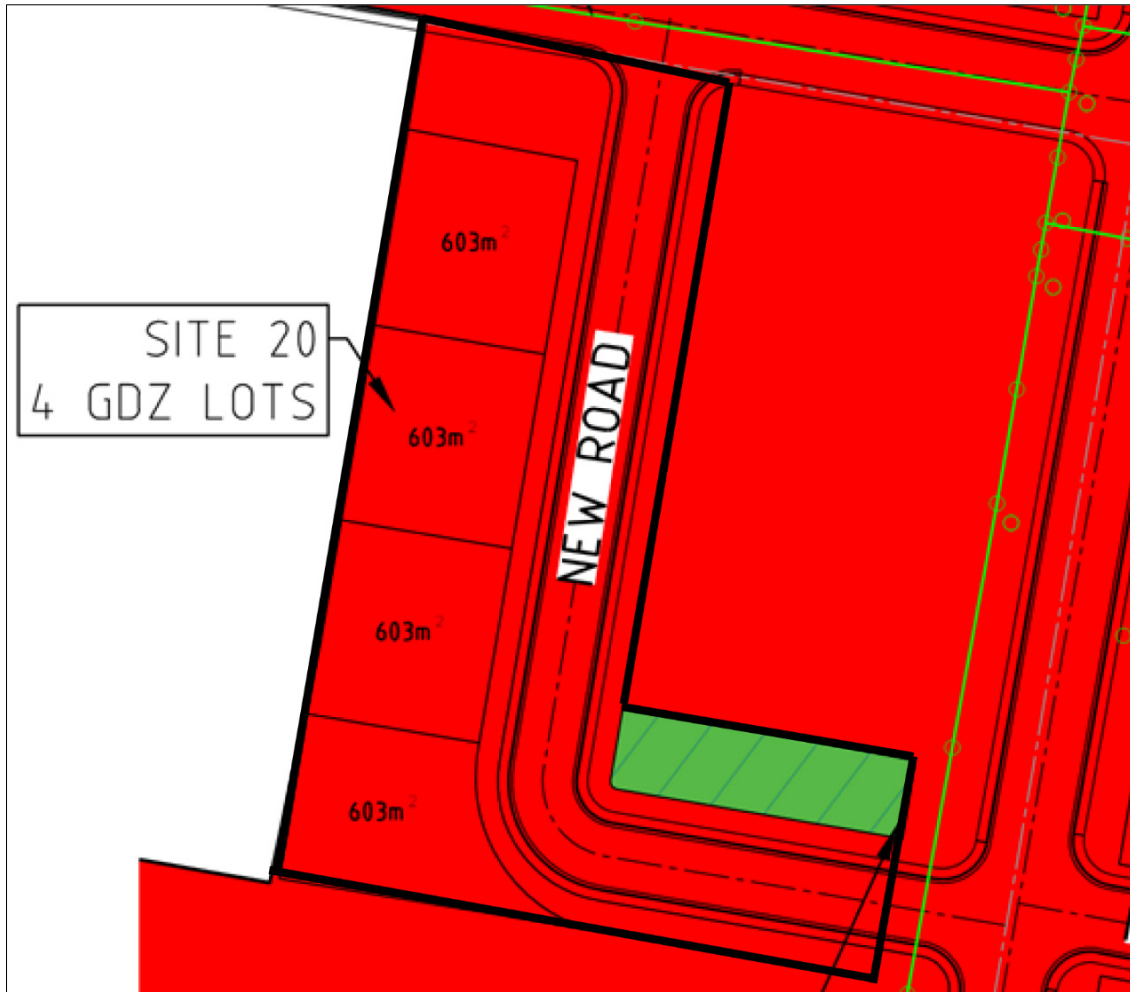


Figure NOR-S8.2.3 Badajos Street Development Precinct Masterplan (outlined in black) as required by clause NOR-S8.2.3, clause NOR-S8.8.1 A1 and P1, and clause NOR-S8.8.3



Figure NOR-S8.2.4 Bond Street 2 Development Precinct Masterplan (outlined in black) as required by clause NOR-S8.2.4, clause NOR-S8.8.1 A1 and P1, and clause NOR-S8.8.3

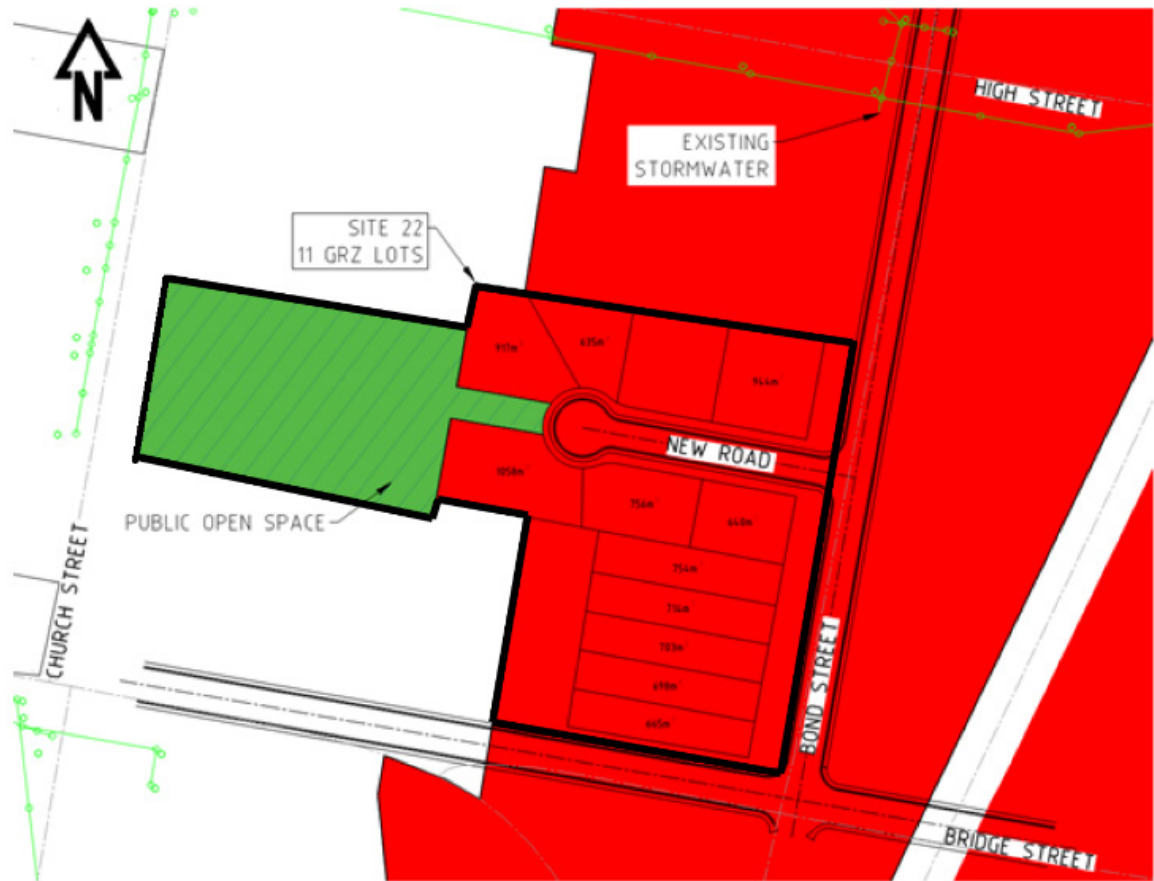


Figure NOR-S8.2.5 Bond Street 3 Development Precinct Masterplan (outlined in black) as required by clause NOR-S8.2.5, clause NOR-S8.8.1 A1 and P1, and clause NOR-S8.8.3

NOR-Site-specific Qualifications

| Reference Number | Site reference | Folio of the Register | Description (modification, substitution or addition) | Relevant Clause in State Planning Provisions |
|------------------|---------------------------------------|--|--|---|
| NOR-8.1 | 4 Nile Road, Evandale | 110036/1 | An additional qualification for the Discretionary Use Class of General Retail and Hire for this site is: "If for a hairdressing salon and the sale of clothing and accessories." | General Residential Zone – clause 8.2 Use Table |
| NOR-8.2 | 18 Logan Road, Evandale | 135864/3 | An additional Discretionary Use Class for this site is: Vehicle Parking with the qualification "If directly associated with Evandale market." | General Residential Zone – clause 8.2 Use Table |
| NOR-8.3 | 16A Logan Road, Evandale | 141412/1 | An additional qualification for the Discretionary Use Class of General Retail and Hire for this site is: "If for a market directly associated with the Evandale Market at 2-14 Logan Road, Evandale." | General Residential Zone - clause 8.2 Use Table |
| NOR-10.1 | Shown as NOR-10.1 on the overlay maps | 16818/24 10850/7 10850/5 51994/137 38127/174 11520/8 13142/16 11520/14 17129/133 13142/65 11520/37 17129/112 17129/205 28136/183 28136/190 13142/63 13142/62 | A substitution for this clause is: Acceptable Solution A1 - No Acceptable Solution. Performance Criteria P1 - No Performance Criterion. | Low Density Residential Zone – clause 10.6.1 Lot design A1 and P1 |

| Reference Number | Site reference | Folio of the Register | Description (modification, substitution or addition) | Relevant Clause in State Planning Provisions |
|------------------|----------------|---|--|--|
| | | 13142/68 17129/204 13142/74 11520/38 11520/31 11520/7 245591/1 51994/136 10850/20 11520/36 14034/202 28136/181 33782/47 10850/14 39260/163 11520/1 11520/201 39260/148 13142/70 11520/22 10850/11 17129/117 13142/202 13142/76 13142/57 51994/142 10850/6 11520/29 10850/2 51994/145 11520/27 11520/24 17129/135 11520/21 28136/182 10850/24 39260/149 28136/176 51994/171 51994/139 13142/52 13142/75 13142/53 11520/6 17129/114 13142/77 28136/180 10850/21 51994/143 10850/16 17129/111 17129/125 | | |

| Reference Number | Site reference | Folio of the Register | Description (modification, substitution or addition) | Relevant Clause in State Planning Provisions |
|------------------|----------------|--|--|--|
| | | 13142/55 11520/23 11520/11 17129/132 17129/110 51994/169 38127/161 39260/162 11520/13 28136/187 10850/18 10850/10 39260/152 13142/43 11520/25 17129/127 39260/165 17129/113 28136/177 17129/129 28136/178 13142/44 51994/144 10850/19 28136/175 10850/13 13142/50 42635/1 51994/166 17129/119 13142/72 28136/185 38127/173 39260/175 11520/28 13142/60 38127/158 38127/156 13142/49 51994/205 13142/203 13142/69 13142/73 41550/153 38127/157 11520/35 17129/120 10850/3 51994/140 51994/138 41550/175 33782/45 | | |

| Reference Number | Site reference | Folio of the Register | Description (modification, substitution or addition) | Relevant Clause in State Planning Provisions |
|------------------|----------------|--|--|--|
| | | 10850/12 10850/9 13142/39 38127/155 13142/61 28136/186 38127/159 10850/17 17129/126 11520/9 28136/123 28136/193 11520/2 35133/1 33782/48 11520/20 10850/4 51994/172 39260/164 38127/160 13142/51 11520/33 41126/1 11520/4 13142/18 14034/12 33782/46 28136/189 28136/192 28136/174 51994/146 13142/66 39260/151 13142/204 51994/141 13142/54 28136/179 13142/59 17129/115 17129/130 28136/121 13142/58 13142/71 11520/3 10850/15 14034/5 13142/41 28136/188 51994/170 11520/10 11520/26 17129/118 | | |

| Reference Number | Site reference | Folio of the Register | Description (modification, substitution or addition) | Relevant Clause in State Planning Provisions |
|------------------|----------------------------|---|---|--|
| | | 17129/128 11520/30 11520/200 13142/17 17129/124 13142/19 17129/116 28136/122 11520/32 51994/147 13142/40 38127/154 11520/15 28136/184 51994/168 10850/8 13142/42 13142/67 39260/150 11520/34 51994/167 9527/1 10850/1 117653/2 117653/3 | | |
| NOR-11.1 | 201 Pateena Road, Longford | 122423/2 | An additional Discretionary Use Class for this site is: Equipment and Machinery Sales and Hire. | Rural Living Zone – clause 11.2 Use Table |
| NOR-11.2 | 201 Pateena Road, Longford | 122423/2 | An additional qualification for the Discretionary Use Class Manufacturing and Processing is: “If located at 201 Pateena Road, Longford.” | Rural Living Zone – clause 11.2 Use Table |
| NOR-11.3 | 201 Pateena Road, Longford | 122423/2 | An additional Discretionary Use Class for this site is: Storage with the qualification “If for a contractor’s yard.” | Rural Living Zone – clause 11.2 Use Table |

| Reference Number | Site reference | Folio of the Register | Description (modification, substitution or addition) | Relevant Clause in State Planning Provisions |
|------------------|---------------------------|-----------------------|---|--|
| NOR-18.1 | 10 Union Street, Longford | 56239/1 | An additional Discretionary Use Class for this site is: Residential with the qualification "If for a dwelling where all habitable rooms are limited to the first floor and above." | Light Industrial Zone – clause 18.2 Use Table |
| NOR-20.1 | 18 Logan Road, Evandale | 135864/3 | An additional Discretionary Use Class for this site is: Vehicle Parking with the qualification "If directly associated with Evandale market." | Rural Zone – clause 20.2 Use Table |
| NOR-27.1 | 6-8 Bridge Street, Ross | 153988/1 | An additional Qualification for the Discretionary Use Class General Retail and Hire for this site is: "If in a building that existed on or before 1 June 2013." | Community Purpose Zone – clause 27.2 Use Table |

NOR-Code Lists

NOR-Table C3.1 Other Major Roads

| Road | From | To |
|---|------|----|
| This table is not used in this Local Provisions Schedule. | | |

NOR-Table C6.1 Local Heritage Places

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|----------------|-----------------|---|--|-----------------------|--|
| NOR-C6.1.1 | 4873 | Avoca | 23-27 Arthur Street | Not applicable | 100057/17 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.2 | 4875 | Avoca | 3 Blenheim Street | Marlborough House / Marlborough (Blenheim) House | 83997/1 | Description: House and barn Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.3 | 7997 | Avoca | 16 Blenheim Street | Not applicable | 169730/1 | Description: Former Avoca Primary School Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.4 | Not applicable | Avoca | 1787 Esk Main Road | Eastbourne House | 122772/1 | Specific Extent: Entire Title |
| NOR-C6.1.5 | 5889 | Avoca | 16 Falmouth Street | Not applicable | 125337/12 | Description: St. Thomas' Anglican Sunday School Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.6 | 4880 | Avoca | 9 Falmouth Street (Cnr Blenheim Street) | St. Thomas' Anglican Church | 204075/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.7 | 5890 | Avoca | 20 Falmouth Street | Union Hotel | 48792/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.8 | 4879 | Avoca | 8 Stieglitz Street | Not applicable | 10795/2 | Description: Former St Thomas' Rectory Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.9 | 4883 | Avoca | 75 Storys Creek Road | Bona Vista | 151295/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.10 | Not applicable | Avoca | 75 Storys Creek Road | Fenhope Colliery / Fenhope Coal Bins | 225390/1 | Specific Extent: Entire Title |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|------------|-----------------|-----------------------|----------------------|-----------------------|---|
| NOR-C6.1.11 | 4741 | Bishopsbourne | 320 Liffey Road | Enfield | 123878/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.12 | 10607 | Blessington | 2281 Deddington Road | Not applicable | 67320/1 | Description: Former St Patrick's Catholic Church Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.13 | 4887 | Bracknell | 628 Liffey Road | The Hermitage | 46123/13 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.14 | 4888 | Breadalbane | 854 Hobart Road | Wool Pack Inn | 65418/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.15 | 4889 | Breadalbane | 16662 Midland Highway | Rathmolyn | 50827/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.16 | 5050 | Breadalbane | 17115 Midland Highway | Strathroy | 47310/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.17 | 4914 | Campbell Town | 22 Bedford Street | Not applicable | 109820/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.18 | 7093 | Campbell Town | Bridge Street | Campbell Town Bridge | Not applicable | Specific Extent: Specific extent is limited to the part of the reserved road defined in the THC central plan register, where available. |
| NOR-C6.1.19 | 4916 | Campbell Town | 28-44 Bridge Street | Balmoral | 226683/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.20 | 4974 | Campbell Town | 73-107 Bridge Street | Howley Lodge | 148746/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.21 | 4917 | Campbell Town | 113 Bridge Street | Not applicable | 204792/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|------------|-----------------|-------------------|----------------|-----------------------|--|
| NOR-C6.1.22 | 4939 | Campbell Town | 118 Bridge Street | Not applicable | Not applicable | Specific Extent: Specific extent is limited to the part of PID 6201014 defined in the THC central plan register, where available. |
| NOR-C6.1.23 | 4918 | Campbell Town | 127 Bridge Street | Not applicable | 11922/1 | Description: House (part of old barracks) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.24 | 4919 | Campbell Town | 140 Bridge Street | Not applicable | 109642/1 | Description: House (part of old barracks) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.25 | 4920 | Campbell Town | 141 Bridge Street | Not applicable | 12618/4 | Description: House (part of old barracks) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.26 | 4921 | Campbell Town | 142 Bridge Street | Not applicable | 109642/2 | Description: House (part of old barracks) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.27 | 4922 | Campbell Town | 144 Bridge Street | Not applicable | 109642/3 | Description: House (part of old barracks) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.28 | 4923 | Campbell Town | 148 Bridge Street | Not applicable | 225385/6 | Description: House (part of old barracks) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|------------|-----------------|---------------------|----------------|-----------------------|--|
| NOR-C6.1.29 | 4925 | Campbell Town | 157 Bridge Street | Not applicable | 12884/1 | Description: House (part of old barracks) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.30 | 4926 | Campbell Town | 160 Bridge Street | Not applicable | 71244/1 | Description: House (part of old barracks) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.31 | 4928 | Campbell Town | 170 Bridge Street | Not applicable | 114502/1 | Description: House (former Campbell Town Inn) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.32 | 4929 | Campbell Town | 176 Bridge Street | Not applicable | 80031/6 | Description: House (part of old barracks) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.33 | 4932 | Campbell Town | 26 Church Street | Not applicable | 17012/15 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.34 | 4943 | Campbell Town | 4 Commonwealth Lane | The Grange | 162625/4 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.35 | 4933 | Campbell Town | 8 Forster Street | Not applicable | 125737/1 | Description: Conjoined houses Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.36 | 4934 | Campbell Town | 17 Forster Street | Not applicable | 100645/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|----------------|-----------------|-------------------|---------------------------|-----------------------|---|
| NOR-C6.1.37 | 4935 | Campbell Town | 8 Franklin Street | The Mill House | 6695/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.38 | Not applicable | Campbell Town | 3 Glenelg Street | Not applicable | 204671/1 | Description: House Specific Extent: Entire Title |
| NOR-C6.1.39 | 4936 | Campbell Town | 9 Glenelg Street | Ivy Cottage | 110970/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.40 | 4927 | Campbell Town | 9 Harrison Street | Not applicable | 228150/1 | Description: Cottage (Part of Old Barracks) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.41 | 4941 | Campbell Town | High Street | Red Bridge | Not applicable | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.42 | 4964 | Campbell Town | 55 High Street | St Andrews Uniting Church | 153978/1 | Description: St Andrew's Presbyterian Church and Organ Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.43 | 4947 | Campbell Town | 71-73 High Street | St Luke's Anglican Church | 125276/1 | Description: Church and cemetery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.44 | 4948 | Campbell Town | 71-73 High Street | Not applicable | 125276/1 | Description: Former Anglican schoolhouse Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.45 | 4965 | Campbell Town | 100 High Street | Not applicable | 50637/1 | Description: Former Campbell Town Inn Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.46 | 4940 | Campbell Town | 103 High Street | Campbell Town Courthouse | 106245/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.47 | 4945 | Campbell Town | 109 High Street | Brickhill Memorial Church | 64945/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.48 | 4950 | Campbell Town | 112 High Street | The Trust Bank | 119702/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.49 | 4951 | Campbell Town | 114 High Street | Not applicable | 23018/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.50 | 4946 | Campbell Town | 118 High Street | Powell's Hotel | 32588/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.51 | 4952 | Campbell Town | 120 High Street | Not applicable | 124306/1 | Description: House and shop Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.52 | 4953 | Campbell Town | 122 High Street | Not applicable | 22737/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.53 | 4954 | Campbell Town | 124 High Street | Not applicable | 42022/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.54 | 4957 | Campbell Town | 132 High Street | The Foxhunters Return | 100683/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.55 | 4944 | Campbell Town | 137 High Street | Not applicable | 224237/1 | <p>Description: Former Brewery (Keans Brewery) (Masonic Lodge)</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.56 | 4958 | Campbell Town | 145 High Street | Not applicable | 29317/1 | <p>Description: House</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.57 | 4958 | Campbell Town | 145 High Street | Not applicable | 29317/2 | <p>Description: Vacant land associated with house</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.58 | 4959 | Campbell Town | 146 High Street | Not applicable | 18744/1 | <p>Description: House</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.59 | Not applicable | Campbell Town | 150 High Street | Not applicable | 19728/1 | <p>Description: House</p> <p>Specific Extent: Entire Title</p> |
| NOR-C6.1.60 | 4961 | Campbell Town | 154 High Street | Cottage Ornee | 156972/1 | <p>Description: House</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.61 | Not applicable | Campbell Town | 160 High Street | Not applicable | 143563/2 | <p>Description: House</p> <p>Specific Extent: Entire Title</p> |
| NOR-C6.1.62 | 4963 | Campbell Town | 162 High Street | Not applicable | 26546/5 | <p>Description: House</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
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| NOR-C6.1.63 | 4993 | Campbell Town | 338 Isis Road | Bicton | 209533/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.64 | 4993 | Campbell Town | 338 Isis Road | Bicton | 83527/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.65 | 4968 | Campbell Town | 4 King Street | St Michaels's Roman Catholic Church | 7802/1 | Description: Church and Presbytery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.66 | 4968 | Campbell Town | 4 King Street | St Michaels's Roman Catholic Church | 7802/2 | Description: Church and Presbytery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.67 | 4966 | Campbell Town | 10 King Street | Not applicable | 123121/1 and 123121/2 | Description: Conjoined houses Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.68 | 4967 | Campbell Town | 12 King Street | Not applicable | 124837/1 | Description: Former Wesleyan Chapel Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.69 | 4904 | Campbell Town | 295 Lake Leake Road | Quorn Hall | 109833/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.70 | 4905 | Campbell Town | 505 Macquarie Road | Rosedale | 166009/1 | Description: House and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.71 | 4895 | Campbell Town | 1726 Macquarie Road | Egleston | 143984/1 | Description: includes outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.72 | 4896 | Campbell Town | 1960 Macquarie Road | Greenhill Barn | 198932/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.73 | 4898 | Campbell Town | 1485 Macquarie Road | Streanshalh | 109680/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.74 | 4984 | Campbell Town | 11987 Midland Highway | Wanstead Park | 109916/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.75 | 4970 | Campbell Town | 83 Montague Street | Arringa | 236780/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.76 | 4971 | Campbell Town | 20 Pedder Street | Not applicable | 226026/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.77 | 4972 | Campbell Town | 30 Pedder Street | Not applicable | 125307/1 | Description: Conjoined Houses Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.78 | 4973 | Campbell Town | 33 Pedder Street | St Luke's Anglican Rectory (The Old Rectory) | 244956/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.79 | 4937 | Campbell Town | 14 Queen Street | Balvaird | 232538/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.80 | 4903 | Campbell Town | 227 Lake Leake Road | Camelford Homestead | 131843/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.81 | 4899 | Campbell Town | 130 Truelands Road | Riccarton | 103889/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.82 | 4908 | Campbell Town | 321 Truelands Road | Douglas Park | 113818/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.83 | 4909 | Campbell Town | Valleyfield Road | Kirklands Church | 135752/1 | Description: Church and cemetery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.84 | 4910 | Campbell Town | Valleyfield Road | Pituncarty | 135330/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.85 | Not applicable | Campbell Town | 86 Valleyfield Road | Valleyfield | 36419/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.86 | 4979 | Cleveland | 12787 Midland Highway | Union Chapel | Not applicable | Description: Chapel and cemetery Specific Extent: Specific extent is limited to the part of PID 2671027 defined in the THC central plan register, where available. |
| NOR-C6.1.87 | 4978 | Cleveland | 12787 Midland Highway | Bald Face Stag Inn | 125989/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.88 | 4977 | Cleveland | 12819 Midland Highway | St. Andrew's Inn | 37452/4 and 21789/3 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.89 | 4980 | Conara | 125 Conara Road | Conara Railway Station / Post Office | 123733/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.90 | 7981 | Conara | 136 Conara Road | Christ Church | 149370/1 | Description: Church and cemetery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.91 | 4982 | Conara | 911 Esk Main Road | Milford | 163599/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.92 | 5189 | Conara | 561 Kingston Road | Kingston | 145038/6 and 145038/10 | Description: Homestead, outbuildings and ruin Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.93 | 5005 | Conara | 1072 Kingston Road | Ellerslie | 150040/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.94 | 5188 | Conara | 1072 Kingston Road | Kelvin Grove | 48634/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.95 | 4983 | Conara Junction | 643 Glen Esk Road | Vaucluse | 177483/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.96 | 4981 | Conara Junction | 12351 Midland Highway | Smithvale | 31164/1 | Description: 'Disappearing house' Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.97 | 5054 | Cressy | Burlington Road | Burlington | 44885/1 | Description: Pigeon tower Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.98 | 5054 | Cressy | Burlington Road | Burlington | 44886/1 | Description: Pigeon tower Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.99 | 5058 | Cressy | 1097 Cressy Road | Richmond Hill | 50936/2 | Description: House and barn Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.100 | 5062 | Cressy | 591 Delmont Road | Lake House | 252480/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.101 | 5056 | Cressy | 394 Macquarie Road | Connorville | 133307/1 | Description: House, outbuildings, mill and garden Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.102 | Not applicable | Cressy | 110 Main Street | Holy Trinity Anglican Church | 125263/1 and 249681/2 | Refer to attached Datasheet NOR-C6.1.102 |
| NOR-C6.1.103 | 5064 | Cressy | 118 Mount Joy Road | Fairfield | 116920/1 | Description: House, stables and barn Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.104 | 5065 | Cressy | 612 Mount Joy Road | Mount Joy | 152765/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.105 | 5072 | Cressy | 4740 Poatina Road | Woodside House | 126579/2 | Description: House, includes outbuildings, wall and garden Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.106 | 5073 | Cressy | 1243 Saundridge Road | Saundridge | 54212/1 | Description: House and chapel Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.107 | 8784 | Cressy | 1284 Saundridge Road | Saundridge Memorial Chapel | 127028/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.108 | 5074 | Cressy | 1393 Saundridge Road | Palmerston House | 35810/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.109 | Not applicable | Cressy District | 3960 Macquarie Road | St Mark's Anglican Church | 125321/1 | Refer to attached Datasheet NOR-C6.1.109 |

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| NOR-C6.1.110 | 4894 | Cressy District | 3064 Macquarie Road | Darlington Park | 169250/1 | Description: include outbuildings and chapel Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.111 | 4985 | Deddington | 750 Deddington Road | Hampden | 13759/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.112 | 4986 | Deddington | 958 Deddington Road | Nile Chapel | Land held under General Law deed 3/5550 | Description: Chapel and Cemetery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.113 | 4987 | Deddington | 1191 Deddington Road | Nile Farm | 32370/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.114 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111808/1 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.115 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111808/2 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.116 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111808/3 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.117 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111808/4 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.118 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111808/10 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.119 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111808/11 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.120 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111808/12 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.121 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111809/5 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.122 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111809/6 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.123 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111809/7 | Specific Extent: Specific extent is the area shown in CPR 10185 |

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| NOR-C6.1.124 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111809/8 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.125 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111809/13 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.126 | 4988 | Deddington | 173 Uplands Road | Patterdale and Nile Farm | 111810/9 | Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.127 | 4988 | Deddington | 173 Uplands Road | Patterdale | 44931/1 | Description: House and garage Specific Extent: Specific extent is the area shown in CPR 10185 |
| NOR-C6.1.128 | 4991 | Epping Forest | 517 Belle Vue Road | Glasslough | 168577/1 | Description: House and stable Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.129 | 4990 | Epping Forest | 577 Belle Vue Road | Clyne Vale | 117576/4 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.130 | 4989 | Epping Forest | 667 Belle Vue Road | Belle Vue | 117576/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.131 | 4992 | Epping Forest | 2464 Macquarie Road | Barton House | 169053/4 | Description: House, stables and coach house Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.132 | 4996 | Epping Forest | 13548 Midland Highway | Macquarie House | 29942/1 | Description: House, kitchen and stone shelter Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.133 | 7983 | Epping Forest | 13790 Midland Highway | St. Andrew's Church | Land held under General Law deed 11/5591 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.134 | 4995 | Epping Forest | 13790 Midland Highway | Fairfield | 173568/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.135 | 5008 | Evandale | 8 Barclay Street | Residence Summerfield | 6228/1 | Description: Police Residence Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.136 | 11063 | Evandale | 4 Cambock Lane West | Not applicable | 175116/1 | Description: Evandale to Launceston Water Scheme (Part 4 Cambock Lane West 6 of 28) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.137 | 11063 | Evandale | 6 Cambock Lane West | Not applicable | 47879/14 | Description: Evandale to Launceston Water Scheme (Part 4 Cambock Lane West 7 of 28) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.138 | 11063 | Evandale | 8 Cambock Lane West | Not applicable | 47879/13 | Description: Evandale to Launceston Water Scheme (Part 4 Cambock Lane West 8 of 28) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.139 | 11063 | Evandale | 10 Cambock Lane West | Not applicable | 47879/12 | Description: Evandale to Launceston Water Scheme (Part 4 Cambock Lane West 9 of 28) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.140 | 11063 | Evandale | 12 Cambock Lane West | Not applicable | 47879/11 | Description: Evandale to Launceston Water Scheme (Part 4 Cambock Lane West 10 of 28) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.141 | 11063 | Evandale | Unit 1/14 Cambock Lane West | Not applicable | 144241/1 | Description: Evandale to Launceston Water Scheme (Part 4 Cambock Lane West 11 of 28) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.142 | Not applicable | Evandale | 3 Collins Street | Not applicable | 113824/1 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.143 | Not applicable | Evandale | 6A Collins Street | Not applicable | 56290/2 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.144 | Not applicable | Evandale | 8 Collins Street | Not applicable | 23882/1 and 23882/2 | Description: Cottage (positioned across title boundaries) Specific Extent: Entire Titles |
| NOR-C6.1.145 | 5011 | Evandale | 14 Collins Street | Not applicable | 28875/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.146 | 5009 | Evandale | 33 Collins Street | Not applicable | 157378/2 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.147 | 5010 | Evandale | 35 Collins Street | Briars Lane | 141411/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.148 | 5320 | Evandale | 46 Dalness Road | Harland Rise | 145763/4 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.149 | 5319 | Evandale | 200 Dalness Road | Dalness | 126645/1 | Description: Includes garden Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.150 | 5007 | Evandale | 560 Evandale Road | Riverview | 17967/2 | Description: House and brick outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.151 | 5012 | Evandale | 1 High Street | Solomon House | 59808/1 | Description: House, outbuilding and garden Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.152 | 5026 | Evandale | 2 High Street | Evandale Post Office | 201996/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.153 | 5015 | Evandale | 4 High Street | Not applicable | 123412/1 | Description: Former Anglican Rectory Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.154 | 5014 | Evandale | 5 High Street | Euroka | 227755/1 | Description: Council Clerk's Residence Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.155 | 5018 | Evandale | 6 High Street | St Andrew's Anglican Church | 123412/2 | Description: Church and graveyard Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.156 | 5019 | Evandale | 9 High Street | St Andrew's Presbyterian Church | 161393/1 | Description: Church and cemetery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.157 | 5016 | Evandale | 15 High Street | The Laurels | 32492/1 | Description: Includes brick walls Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.158 | 5013 | Evandale | 16 High Street | Patriot King William IV Inn | 149380/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.159 | 5024 | Evandale | 18 High Street | Not applicable | 202589/1 | Description: Former State school House Specific Extent: Specific Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.160 | 5020 | Evandale | 20 High Street | Not applicable | 226956/1 | Description: Former school house Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.161 | 11063 | Evandale | 24 High Street | Not applicable | 22382/1 | Description: Evandale to Launceston Water Scheme Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.162 | 5022 | Evandale | 24 High Street | Ventnor | 22382/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.163 | 5017 | Evandale | 27 High Street | Manse | 125035/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.164 | 5023 | Evandale | 28-30 High Street | Water Tower | 236838/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.165 | 4999 | Evandale | 170 Leighlands Road | Pleasant Banks | 138308/1 | Description: Homestead and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.166 | 5028 | Evandale | 1 Leopold Street | Not applicable | 134630/2 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.167 | 5029 | Evandale | 1 Logan Road | Fallgrove | 78827/3 and 78827/4 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.168 | 4998 | Evandale | 548 Logan Road | Elkington | 175727/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.169 | 5032 | Evandale | 15 Macquarie Street | Roman Catholic Church | 65683/3 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.170 | 5030 | Evandale | 21 Macquarie Street | Not applicable | 92370/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.171 | 5031 | Evandale | 23 Macquarie Street | Not applicable | 139560/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.172 | Not applicable | Evandale | 1 Murray Street | Not applicable | 15145/2 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.173 | 5036 | Evandale | 5 Murray Street | Not applicable | 197784/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.174 | 5034 | Evandale | 6 – 8 Murray Street | Not applicable | 48212/1 | Description: Cemetery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.175 | Not applicable | Evandale | 19 Murray Street | Not applicable | 233415/1 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.176 | 5039 | Evandale | 21 Murray Street | Not applicable | 35167/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.177 | 5025 | Evandale | 2 Nile Road | Prince of Wales Hotel | 41271/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.178 | 5025 | Evandale | 2 Nile Road | Prince of Wales Hotel | 41271/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.179 | 8208 | Evandale | 4 Nile Road | Not applicable | 110036/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.180 | 8216 | Evandale | 142 Nile Road | Andora | 33202/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.181 | Not applicable | Evandale | 59 Perth Mill Road | Glendessary | 167180/1 | Specific Extent: Entire Title |
| NOR-C6.1.182 | 5033 | Evandale | 6 Rogers Lane | Not applicable | 111388/2 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.183 | 5041 | Evandale | 8 Rogers Lane | Anjou Villa | 137789/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.184 | 5027 | Evandale | 2 Russell Street | Not applicable | 222996/1 | <p>Description: Shops (Village Antiques and Old Butchery)</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.185 | Not applicable | Evandale | 3 Russell Street | Not applicable | 214531/1 | <p>Description: House and Shop</p> <p>Specific Extent: Entire Title</p> |
| NOR-C6.1.186 | 5043 | Evandale | 4 Russell Street | Council Chambers / Court House | 92371/1 | <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.187 | 5042 | Evandale | 5 Russell Street | Not applicable | 122508/1 | <p>Description: Shop (Browns Shop and Storehouse)</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.188 | 5048 | Evandale | 6 Russell Street | Royal Oak Hotel | 237292/1 | <p>Description: Former Royal Oak Hotel and stables</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.189 | 5044 | Evandale | 11 Russell Street | Clarendon Arms Hotel | 114143/1 | <p>Description: Clarendon Arms Hotel Store at rear and brick walls</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.190 | 5044 | Evandale | 11 Russell Street | Clarendon Arms Hotel | 114143/2 | <p>Description: Clarendon Arms Hotel Store at rear and brick walls</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |

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| NOR-C6.1.191 | 5045 | Evandale | 13-15 Russell Street | Not applicable | 150003/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.192 | 5046 | Evandale | 18 Russell Street | Not applicable | 43855/1 | Description: Conjoined cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.193 | 5047 | Evandale | 28 Russell Street | Not applicable | 43841/1 | Description: Former Methodist Chapel Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.194 | 5317 | Evandale | 166 Trafalgar Lane | Trafalgar | 165598/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.195 | 5081 | Longford | Anstey Street | Longford Racecourse | Not applicable | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.196 | 5080 | Longford | 39 Anstey Street | Not applicable | 236560/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.197 | 5082 | Longford | 4 Archer Street | Kilgour | 24794/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.198 | 10454 | Longford | 1813 Bishopsbourne Road | Springbanks | Land held under General Law deed 30/5979 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.199 | 5083 | Longford | 147 Bulwer Street | Richmond Park | 135293/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.200 | Not applicable | Longford | 86 Burghley Street | Dell Farm | 115134/2 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.201 | 5087 | Longford | 120 Catherine Street | Longford House | 168940/1 and 168940/2 | Description: House and barn Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.202 | 5110 | Longford | 1 Cressy Road | Not applicable | 112263/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.203 | 5088 | Longford | 17 Cressy Road | Not applicable | 100485/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.204 | 5089 | Longford | 20 Goderich Street | Not applicable | 57046/3 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.205 | 5090 | Longford | 21 Goderich Street | Not applicable | 117047/5 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.206 | 5095 | Longford | 24 Goderich Street | St Augustine's Church | 57046/16 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.207 | 5092 | Longford | 28 Goderich Street | Clare House | 21902/11 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.208 | 5093 | Longford | 30 Goderich Street | Westlake | 21902/12 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.209 | 5094 | Longford | 34 Goderich Street | Braeside | 20763/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.210 | 5096 | Longford | 3 High Street | Uniting Church, formerly Methodist Church | 250135/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.211 | Not applicable | Longford | 8 High Street | Not applicable | 36325/3 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.212 | Not applicable | Longford | 23-47 Hobhouse Street | Longford Showground | 121327/1 | Specific Extent: Entire Title |
| NOR-C6.1.213 | Not applicable | Longford | 23-47 Hobhouse Street | Longford Showground | 121327/2 | Specific Extent: Entire Title |
| NOR-C6.1.214 | Not applicable | Longford | 23-47 Hobhouse Street | Longford Showground | 121327/3 | Specific Extent: Entire Title |
| NOR-C6.1.215 | Not applicable | Longford | 23-47 Hobhouse Street | Longford Showground | 121327/4 | Specific Extent: Entire Title |
| NOR-C6.1.216 | Not applicable | Longford | 23-47 Hobhouse Street | Longford Showground | 131830/1 | Specific Extent: Entire Title |
| NOR-C6.1.217 | 5098 | Longford | 2 Howick Street | Not applicable | 222255/5 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.218 | 5099 | Longford | 9 Howick Street | Line View | 100358/4 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.219 | 5091 | Longford | 19B Howick Street | Roman Catholic Presbytery | 57046/13 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.220 | 5100 | Longford | 24 Howick Street | Not applicable | 135044/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.221 | 5101 | Longford | 1 -13 Latour Street | Noake's Cottages (No1) | 156292/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.222 | 5102 | Longford | 1 -13 Latour Street | Noake's Cottage (No 2) | 156292/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.223 | 5103 | Longford | 1 -13 Latour Street | Noake's Cottage (No 3) | 156292/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.224 | 5104 | Longford | 1 -13 Latour Street | Noake's Cottage (No 4) | 156292/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.225 | 5105 | Longford | 1 -13 Latour Street | Noake's Cottage (No 5) | 156292/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.226 | 5106 | Longford | 1-13 Latour Street | Noake's Cottage (No 6) | 156292/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.227 | Not applicable | Longford | 30 Lewis Street | Primrose Cottage | 143539/1 | Specific Extent: Entire Title |
| NOR-C6.1.228 | 5108 | Longford | 41 Lewis Street | Kelham | 251004/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.229 | Not applicable | Longford | 44 Lewis Street | Not applicable | 18067/1 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.230 | 5114 | Longford | 14 Lyttleton Street | Former Lass O'Gowrie Hotel | 217289/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.231 | 5115 | Longford | 24 Malcombe Street | Not applicable | 22312/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.232 | 5116 | Longford | 49 Malcombe Street | Mohr | 8695/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.233 | 5117 | Longford | 70 Malcombe Street | Longford Hall | 127794/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.234 | 5118 | Longford | 1-3 Marlborough Street | Not applicable | 52310/1 | Description: Commercial retail (former London Inn, and later the Plough Inn) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.235 | 5120 | Longford | 6 Marlborough Street | Not applicable | 252492/1 | Description: ANZ Bank Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.236 | Not applicable | Longford | 7 Marlborough Street | Not applicable | 212932/1 | Description: Former Longford Post Office Specific Extent: Entire Title |
| NOR-C6.1.237 | 5122 | Longford | 9 Marlborough Street | Not applicable | 114316/2 and 114316/3 | Description: Conjoined cottages located across title boundaries Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.238 | 5123 | Longford | 12 Marlborough Street | Blenheim Hotel | 114847/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.239 | 5123 | Longford | 12 Marlborough Street | Blenheim Hotel | 175992/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.240 | 5124 | Longford | 24 Marlborough Street | Not applicable | 69722/2 | Description: Formerly the Spinning Wheel Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.241 | 5125 | Longford | 28 Marlborough Street | Not applicable | 126353/1 | Description: Primitive Methodist Manse Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.242 | 5126 | Longford | 38 Marlborough Street | Druids Hall | 117432/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.243 | 5127 | Longford | 39 Marlborough Street | Not applicable | 152650/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.244 | Not applicable | Longford | 48 Marlborough Street | Not applicable | 24074/1 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.245 | 5129 | Longford | 50 Marlborough Street | Not applicable | 113330/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.246 | 5130 | Longford | 52 Marlborough Street | Not applicable | 147609/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.247 | 5131 | Longford | 54 Marlborough Street | Not applicable | 121735/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.248 | Not applicable | Longford | 56 Marlborough Street | Not applicable | Land held under General Law deed 53/5257 | Description: Cottage Specific Extent: Entire Title |

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| NOR-C6.1.249 | 5133 | Longford | 58 Marlborough Street | Not applicable | 219810/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.250 | Not applicable | Longford | 60 Marlborough Street | Not applicable | 236551/1 | Description: House Specific Extent: Entire Title |
| NOR-C6.1.251 | 5134 | Longford | 72 Marlborough Street | Sam's Cottage | 143741/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.252 | 5135 | Longford | 114 Marlborough Street | Racecourse Hotel and Railway Hotel | 5002/3 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.253 | 5136 | Longford | Marlborough Street | Old Wesleyan Methodist Cemetery | 209420/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.254 | Not applicable | Longford | 13 Mason Street | Not applicable | 23596/1 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.255 | 5139 | Longford | 2 Pakenham Street | Bellamona | 41174/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.256 | 5140 | Longford | 18 Pakenham Street | Not applicable | 123604/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.257 | 5141 | Longford | 19 Pakenham Street | Not applicable | 54161/3 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.258 | Not applicable | Longford | 22 Pakenham Street | Sandhurst | 138075/1 | Specific Extent: Entire Title |

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| NOR-C6.1.259 | 5071 | Longford | 620 Pateena Road | Saltmarsh Farm | 47043/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.260 | 5143 | Longford | 32 Paton Street | Belmont | 151859/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.261 | 5144 | Longford | 6 Smith Street | Not applicable | 31488/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.262 | 5146 | Longford | 17 Smith Street | The Cedars | 40081/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.263 | 5145 | Longford | Over South Esk River 1.2km NE of Longford Old Perth Road | Not applicable | 235359/1 | Description: Railway bridge, viaduct and station Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.264 | 5145 | Longford | Over South Esk River 1km NE of Longford | Not applicable | Not applicable | Description: Railway bridge and viaduct Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.265 | 5148 | Longford | 26 Tannery Road South | Kingsley | 226347/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.266 | 5149 | Longford | 38 Tannery Road | Not applicable | 215789/1 | Description: Old Brick Tannery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.267 | Not applicable | Longford | 'Mill Dam Reserve' Off Tannery Road | Longford Picnic Ground (Mill Dam Reserve) | 202868/1 | Specific Extent: Entire Title |

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| NOR-C6.1.268 | 5111 | Longford | 1 Tasmania Street | Primrose Hill (Primrose Cottage) | 151640/5 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.269 | 5153 | Longford | 10 Union Street | Not applicable | 56239/1 | Description: Affleck's Old Flour Mill (Monds and Afflecks Produce Store) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.270 | 5151 | Longford | 25 Union Street | Not applicable | 32200/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.271 | 5175 | Longford | Corner Wellington and Marlborough | Not applicable | Not applicable | Description: Longford Jubilee Lamp and Jubilee Fountain (Memorial Drinking Trough) Specific Extent: Specific extent is limited to the part of the road reservation defined in the THC central plan register, where available. |
| NOR-C6.1.272 | 5113 | Longford | 97A Wellington Street | Norley | 33814/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.273 | 5152 | Longford | 9 Wellington Street | Prince of Wales Hotel - Country Club Hotel | 155372/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.274 | 5137 | Longford | 34B Wellington Street | Former Barn | 57677/2 | Description: Former barn Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.275 | 5154 | Longford | 41 Wellington Street | Baptist Church | 159522/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.276 | 5155 | Longford | 44 Wellington Street | Berridale | 249459/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.277 | 5156 | Longford | 52 Wellington Street | Not applicable | 59692/2 | Description: Old Emerald Mill Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.278 | 5157 | Longford | 53 Wellington Street | Victoria Square | Land held under General Law deed 32/105 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.279 | 5156 | Longford | 54 Wellington Street | Not applicable | 59692/3 | Description: Old Emerald Mill Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.280 | 5158 | Longford | 55 Wellington Street | Longford Library | 222077/1 | Description: Former Tattersalls Hotel Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.281 | 5159 | Longford | 57 Wellington Street | Not applicable | 129075/1 | Description: Commercial Retail (House and shop) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.282 | 5160 | Longford | 59 Wellington Street | Not applicable | 207607/1 | Description: Commercial Retail (House and shop) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.283 | 5161 | Longford | 61 Wellington Street | Not applicable | 160325/1 | Description: Commercial Retail (House and shop) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.284 | 5162 | Longford | 63 Wellington Street | Not applicable | 136374/2 | Description: Commercial Retail (House and shop) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.285 | 5163 | Longford | 65 Wellington Street | Not applicable | 160325/2 | Description: Commercial Retail (House and shop) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.286 | 5164 | Longford | 67 Wellington Street | Longford Municipal Hall | 141754/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.287 | 5165 | Longford | 69 Wellington Street | Queen's Arms Hotel | 230956/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.288 | 5166 | Longford | 72 Wellington Street | Not applicable | 63420/1 | Description: Former toll house Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.289 | 5167 | Longford | 73 Wellington Street | Not applicable | 156536/2 | Description: Commercial Retail Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.290 | 5168 | Longford | 79 Wellington Street | Not applicable | 60930/3 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.291 | 5169 | Longford | 87 Wellington Street | Goodlands | 123116/2 | Description: Goodlands and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.292 | 5170 | Longford | 88 Wellington Street | Not applicable | 202427/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.293 | 5171 | Longford | 90 Wellington Street | Ivy Cottage | 145630/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.294 | 5172 | Longford | 103 Wellington Street | Beulah | 169920/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.295 | 5173 | Longford | 107 Wellington Street | Not applicable | 29020/1 | Description: Old Wesleyan Chapel and Sunday School Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.296 | 5177 | Longford | 189-191 Wellington Street | Northbury | 129525/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.297 | 5178 | Longford | 205 Wellington Street | Curraghmore | 200556/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.298 | 5179 | Longford | 227 Wellington Street | Pinefield | 37711/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.299 | 5180 | Longford | 236 Wellington Street | Brickendon Estate | 27652/1 | Description: Brickendon, including outbuildings and Brickendon Garden Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.300 | 5174 | Longford | 2a William Street | Christ Church | 125412/1 | Description: Church, old Sunday school and churchyard Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.301 | 5182 | Longford | 4 William Street | Penghana | 64239/7 and 64239/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available - includes vacant site to the north. |
| NOR-C6.1.302 | 5184 | Longford | 6 William Street | Not applicable | 51671/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.303 | 5183 | Longford | 21 William Street | Not applicable | 235845/1 | Description: Former school house and 'The Working Men's Club Hotel' Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.304 | 5053 | Longford District | 1629 Bishopsbourne Road | Woodstock | 135364/1 | Description: House and brick outbuilding Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.305 | 5052 | Longford District | 311 Brumby Street | Harwick Hill | 26208/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.306 | 5063 | Longford District | 390 Illawarra Road | Mountford | 174674/1 | Description: Mountford Homestead, Outbuildings and Drive Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.307 | 5061 | Longford District | 752 Illawarra Road | Esk Farm | 160595/1 | Description: Esk Farm Farmhouse Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.308 | 5060 | Longford District | 868 Illawarra Road | Wickford | 233018/1 | Description: Wickford House and Outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.309 | 5057 | Longford District | 366 Panshanger Road | Panshanger | 148994/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.310 | 5066 | Longford District | 360 Pateena Road | Mount Ireh | 109561/1 | Description: Mount Ireh homestead and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.311 | 5066 | Longford District | 360 Pateena Road | Mount Ireh | 233447/1 | Description: Mount Ireh homestead and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.312 | 5067 | Longford District | 518 Pateena Road | Bowthorpe | 33649/1 | Description: Bowthorpe and garden setting Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.313 | 5067 | Longford District | 518 Pateena Road | Bowthorpe | 33649/7 | Description: Bowthorpe and garden setting Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.314 | 5068 | Longford District | 589A Pateena Road | Not applicable | 45545/1 | Description: Old Schoolhouse and Chapel Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.315 | 5069 | Longford District | 678 Pateena Road | Jessiefield) | 146412/1 | Description: Jessiefield House and outbuildings (former Tasmania Inn) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.316 | 5070 | Longford District | 812 Pateena Road | Ravensworth | 10203/13 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.317 | 5077 | Longford District | Woolmers Lane | Woolmers | 135619/3 | Description: Woolmers Cottages Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.318 | 5079 | Longford District | 414 Woolmers Lane | Rhodes | 126664/1 | Description: Rhodes House, Barn and Shearers Quarters Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.319 | 5077 | Longford District | 658 Woolmers Lane | Woolmers | 135619/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.320 | 10896 | Nile | 15 Church Lane | St Peter's Anglican Church | 125623/1 | Description: Church and Cemetery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.321 | 10896 | Nile | 15 Church Lane | St Peter's Anglican Church | 125623/2 | Description: Church and Cemetery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.322 | 10347 | Nile | 234 Clarendon Lodge Road | Clarendon | 32028/5 | Description: Clarendon, gardens and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available, and includes adjacent Reserved Road and Road (type unknown). |
| NOR-C6.1.323 | 10347 | Nile | 241 Clarendon Lodge Road | Clarendon | 250202/1 | Description: Clarendon, gardens and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.324 | Not applicable | Nile | 866 Nile Road | Sunnyside (Lochmaben Homestead) | 146137/1 | Specific Extent: Entire Title |

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| NOR-C6.1.325 | 5196 | Nile | 868 Nile Road and part of 1078 Nile Road | Strathmore | 176914/1 and 176914/2 | Description: Strathmore and Mill Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.326 | 5191 | Nile | 1541 Nile Road | Not applicable | Land held under General Law deed 3/7436 | Description: Cottage (opposite Nile Inn) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available and located on the northern side of the Nile River. |
| NOR-C6.1.327 | 5193 | Nile | 1541 Nile Road | Nile Inn | Land held under General Law deed 4/1174 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.328 | Not applicable | Nile | 1541 Nile Road | Old Fordon | Land held under General Law deed 3/7436 | Description: Old Fordon (located 2.7km south of Nile township) Specific Extent: Specific extent is limited to the land parcel located adjoining General Law deed 5/842. |
| NOR-C6.1.329 | Not applicable | Nile | 1541 Nile Road | Fordon House | Land held under General Law deed 5/2629 | Description: House, outbuildings and gardens Specific Extent: Entire Title |
| NOR-C6.1.330 | Not applicable | Perth | 5 Cemetery Road | Not applicable | Not applicable | Description: Perth Cemetery Specific Extent: Specific extent is all of PID 2108680 |
| NOR-C6.1.331 | 5207 | Perth | 21-43 Clarence Street (and frontage onto Elizabeth Street) | Not applicable | 176329/1 | Description: St Andrew's Cemetery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.332 | 5207 | Perth | 21-43 Clarence Street (and frontage onto Elizabeth Street) | Not applicable | 176329/2 | Description: St Andrew's Cemetery Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.333 | 5202 | Perth | 51D Clarence Street | Not applicable | 125418/1 | Description: St Andrew's Parish Hall Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.334 | 5216 | Perth | 56 Clarence Street | St Andrew's Church | 169062/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.335 | 5216 | Perth | 56A Clarence Street | St Andrew's Church | 169062/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.336 | 5216 | Perth | 56B Clarence Street | St Andrew's Church | 169062/3 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.337 | 5198 | Perth | 60 Clarence Street | Not applicable | 64885/2 | Description: Baptist Manse Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.338 | 5201 | Perth | 62 Clarence Street | Not applicable | 64885/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.339 | 5200 | Perth | 69 Clarence Street | Not applicable | 112135/2 | Description: Baptist Union Hall Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.340 | 5199 | Perth | 71 Clarence Street | Baptist Tabernacle | 112243/1 | Description: Baptist Tabernacle Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.341 | 5203 | Perth | 77 Clarence Street | Not applicable | 163526/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.342 | Not applicable | Perth | 7-9 Drummond Street | Not applicable | 104517/1 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.343 | Not applicable | Perth | 11 Drummond Street | Not applicable | 121984/1 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.344 | 5206 | Perth | 76 Drummond Street | Revelstoke | 61454/4 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.345 | 5211 | Perth | 63 Fairtlough Street | Green Hythe | 117849/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.346 | 5211 | Perth | 65-81 Fairtlough Street | Green Hythe | 117849/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.347 | 5211 | Perth | 65-81 Fairtlough Street | Green Hythe | 117649/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.348 | 5210 | Perth | 116 Fairtlough Street | Not applicable | 158357/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.349 | 5208 | Perth | 180 Fairtlough Street | Not applicable | 164173/1 | Description: Cottage and Shed (Perth Doctors Surgery) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.350 | 5213 | Perth | 2 Frederick Street | Not applicable | 33892/1 | Description: House (Cottage) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.351 | 5212 | Perth | 4 Frederick Street | Stonehaven | 174698/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.352 | 5214 | Perth | 13 Frederick Street | Not applicable | 210830/13 | Description: School House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.353 | 5215 | Perth | 52 Frederick Street | Not applicable | 24751/9 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.354 | 5246 | Perth | 1 Little Mulgrave Street | Not applicable | 52200/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.355 | 5245 | Perth | 3 Little Mulgrave Street | Not applicable | 38830/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.356 | 8201 | Perth | Road reserve in front of 19 and 23 Main Road (on boundary to 17 and 21) | Not applicable | Not applicable | Description: Memorial Elm Trees (2 mature trees) Specific Extent: Specific extent is limited to the part of the land defined in the THC central plan register, where available. |
| NOR-C6.1.357 | 5240 | Perth | 26 Main Road | The Railway Tavern | 18089/14 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.358 | 5240 | Perth | 26 Main Road | The Railway Tavern | 242664/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.359 | 5217 | Perth | 28 Main Road | Not applicable | 233932/13 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.360 | 5218 | Perth | 37 Main Road | Not applicable | 36718/10 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.361 | 5220 | Perth | 48 Main Road | Not applicable | 38419/7 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.362 | 5221 | Perth | 50 Main Road | Not applicable | 123673/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.363 | 5222 | Perth | 55 Main Road | The Leather Bottle Inn | 173712/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.364 | 5228 | Perth | 55A Main Road | Not applicable | 231876/1 | Description: Perth War Memorial Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.365 | 5238 | Perth | 61 Main Road | Not applicable | 216201/1 | Description: Perth Post Office Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.366 | 5223 | Perth | 62 Main Road | Not applicable | 150739/1 | Description: Cottages Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.367 | 5224 | Perth | 63 Main Road | Not applicable | 239514/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.368 | 5225 | Perth | 73 Main Road | Not applicable | 157635/3 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.369 | 5226 | Perth | 74 Main Road | Not applicable | 6034/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.370 | 5227 | Perth | 78 Main Road | Not applicable | 31635/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.371 | Not applicable | Perth | 81 Main Road | Glenavon | 239007/1 | Specific Extent: Entire Title |
| NOR-C6.1.372 | 5237 | Perth | 86 Main Road | Not applicable | 153831/1 | Description: Former Methodist Uniting Church Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.373 | 5232 | Perth | 88 Main Road | The Queen's Head Hotel | 129411/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.374 | 5230 | Perth | 90 Main Road | Not applicable | 36977/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.375 | 5231 | Perth | 98 Main Road | Not applicable | 142685/1 | Description: House and shop Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.376 | Not applicable | Perth | 106 Main Road | Not applicable | Land held under General Law deed 45/9734 | Description: House Specific Extent: Entire Title |
| NOR-C6.1.377 | 5243 | Perth | 3 Mary Street | Not applicable | 37509/5 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.378 | 5244 | Perth | Midland Highway | Woodhall | 174908/1 | Description: Woodhall (including Rosebanks Cottage) Specific Extent: Specific extent is limited to the area of the land formerly part of FR 136251/1 or any other part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.379 | 5244 | Perth | Midland Highway | Woodhall | 174317/1 | Description: Woodhall (including Rosebanks Cottage) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.380 | 5001 | Perth | Native Point, Midland Highway | Not applicable | 53569/1 | Description: Native Point Residence and Garden Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

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| NOR-C6.1.381 | 5001 | Perth | Native Point, Midland Highway | Not applicable | 172363/1 | Description: Native Point Residence and Garden Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.382 | 5000 | Perth | 15046 Midland Highway | Symmons Plains | 163564/2 | Description: Homestead, outbuildings and garden Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.383 | 5002 | Perth | 15960 Midland Highway | Not applicable | 101484/1 | Description: Chatsworth Convict Station Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.384 | 5242 | Perth | 16087 Midland Highway | Eskleigh | 174312/1 | Description: House and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.385 | 5242 | Perth | 16087 Midland Highway | Eskleigh | 174312/2 | Description: House and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.386 | 5241 | Perth | 16457 Midland Highway | Haggerston House | 170420/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.387 | 5247 | Perth | 21 Norfolk Street | Former Jolly Farmer Inn | 44980/1 | Description: Coaching Inn Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.388 | 5239 | Perth | 37 Old Bridge Road | Charles Berryman Reserve (Mill Race Park) | 151006/1 | Description: Mill Race Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|----------------|-----------------|--------------------|-------------------|-----------------------|--|
| NOR-C6.1.389 | 5248 | Perth | Old Punt Road | Rushmere | 136344/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.390 | 5006 | Perth | Perth Mill Road | Not applicable | 117212/2 | Description: Flinty Creek Railway Viaduct Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.391 | Not applicable | Perth | 5 Scone Street | Not applicable | 126635/1 | Description: House Specific Extent: Entire Title |
| NOR-C6.1.392 | 5253 | Perth | 12 Scone Street | Tralee | 129022/2 | Description: House and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.393 | 6978 | Perth | 16 Scone Street | Not applicable | 29849/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.394 | 5251 | Perth | 20 Scone Street | Former Perth Gaol | 29640/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.395 | Not applicable | Perth | 2 Talisker Street | Not applicable | 14955/5 | Description: House Specific Extent: Entire Title |
| NOR-C6.1.396 | 5257 | Perth | 18 Talisker Street | Not applicable | 166233/2 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|----------------|-----------------|-----------------------|---|-----------------------|---|
| NOR-C6.1.397 | 5254 | Perth | 19-21 Talisker Street | Not applicable | 33708/1 and 33708/2 | Description: Conjoined cottages Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.398 | 5258 | Perth | 20 Talisker Street | Not applicable | 137902/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.399 | Not applicable | Perth | 22 Talisker Street | Not applicable | 214638/1 | Description: Cottage Specific Extent: Entire Title |
| NOR-C6.1.400 | 5260 | Perth | 14 William Street | Beulah (Formerly Iona) | 26209/12 | Description: St. Andrew's Rectory Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.401 | 5260 | Perth | 14 William Street | Beulah, Formerly Iona, St. Andrew's Rectory | 14831/3 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.402 | 5261 | Perth | 18 William Street | The Stone House | 33625/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.403 | 5262 | Perth | 71 Youl Road | Not applicable | 30378/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.404 | 5270 | Ross | 1321 Auburn Road | Ellenthorpe | 116934/1 | Description: House and outbuilding Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|----------------|-----------------|--|----------------|-----------------------|---|
| NOR-C6.1.405 | 5283 | Ross | 10 Badajos Street | Not applicable | 226527/4 | Description: Anglican Rectory Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.406 | 5282 | Ross | 16 Badajos Street | Not applicable | 25008/1 | Description: Cottage (Daniel Herberts Cottage) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.407 | 5281 | Ross | 28 Badajos Street | Not applicable | 140472/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.408 | 5285 | Ross | 19 Bond Street | Not applicable | 148384/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.409 | 7053 | Ross | 21 Bond Street | Not applicable | 115871/1 | Description: Cottage (Thomas Meagher) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.410 | 5271 | Ross | 32 Bond Street | Not applicable | 244075/1 | Description: House (Cottage) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.411 | Not applicable | Ross | Bridge, Church, High, Badajos and Bond Streets | Not applicable | Not applicable | Description: Ross Street Plantings (mature street trees) |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|----------------|-----------------|---|---------------------------|-----------------------|---|
| NOR-C6.1.412 | Not applicable | Ross | Bridge and Church Streets (southern side of the intersection) | Ross Cannon | Not applicable | Specific Extent: Specific extent is the fenced area surrounding the Cannon. |
| NOR-C6.1.413 | 5289 | Ross | Bridge Street | Ross Bridge | Not applicable | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.414 | 5288 | Ross | 3 Bridge Street | The Barracks | 59645/1 | Description: Former barracks Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.415 | 5308 | Ross | 10 Bridge Street | Not applicable | 144302/1 | Description: Council Clerk's House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.416 | 5290 | Ross | 14 Bridge Street | Ross Primary School | 168094/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.417 | 5290 | Ross | 18 Bridge Street | Ross Primary School | 168094/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.418 | 5306 | Ross | 8 Church Street | Not applicable | 52751/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.419 | 5284 | Ross | 11 Church Street | St John's Anglican Church | 226029/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.420 | Not applicable | Ross | 12 Church Street | Not applicable | 124167/1 | Description: Former Ordinance Store Specific Extent: Entire Title |
| NOR-C6.1.421 | 5305 | Ross | 15 Church Street | Sherwood Castle Inn | 159313/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|------------|-----------------|------------------|---------------------------------|-----------------------|--|
| NOR-C6.1.422 | 5299 | Ross | 17 Church Street | Macquarie House | 147479/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.423 | 5299 | Ross | 17 Church Street | Macquarie House | 220984/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.424 | 5293 | Ross | 18 Church Street | Not applicable | 136196/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.425 | 5292 | Ross | 20 Church Street | Not applicable | 239613/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.426 | 5298 | Ross | 21 Church Street | Not applicable | 159604/2 | Description: House (Stone Bungalow) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.427 | 5294 | Ross | 23 Church Street | Not applicable | 102936/1 | Description: Cottage Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.428 | 5303 | Ross | 26 Church Street | Not applicable | 238554/1 | Description: Post Office Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.429 | 5309 | Ross | 27 Church Street | The Sheirling | 101548/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.430 | 5296 | Ross | 35 Church Street | Man O'Ross Hotel and Mile Posts | 102674/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|------------|-----------------|---------------------|--------------------|-----------------------|--|
| NOR-C6.1.431 | 5304 | Ross | 36 Church Street | Scotch Thistle Inn | 139822/1 | Description: Inn and outbuildings/stables Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.432 | 5307 | Ross | 38 Church Street | Not applicable | 53388/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.433 | 5311 | Ross | 40 Church Street | Not applicable | 8609/1 | Description: House Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.434 | 5302 | Ross | 46 Church Street | Not applicable | 153989/1 | Description: Old Ordnance Store Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.435 | 5301 | Ross | 48-50 Church Street | Not applicable | 55563/2 | Description: Orderly Rooms Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.436 | 10321 | Ross | 52 Church Street | Ross Drill Hall | 55563/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.437 | 5300 | Ross | 52A Church Street | Not applicable | 209561/3 | Description: Methodist Church Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.438 | 5300 | Ross | 54 Church Street | Not applicable | 172381/1 | Description: Methodist Church Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|------------|-----------------|------------------|----------------|-----------------------|--|
| NOR-C6.1.439 | 5300 | Ross | 54 Church Street | Not applicable | 172380/1 | <p>Description: Methodist Church</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.440 | 5310 | Ross | 5 High Street | Not applicable | 114993/1 | <p>Description: St John's Sunday School</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.441 | 5286 | Ross | 13 High Street | Not applicable | 163422/3 | <p>Description: Former Methodist Sunday School</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.442 | 5286 | Ross | 13A High Street | Not applicable | 163422/4 | <p>Description: Former Methodist Sunday School</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.443 | 5286 | Ross | 15 High Street | Not applicable | 163422/2 | <p>Description: Former Methodist Sunday School</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.444 | 5286 | Ross | 17 High Street | Not applicable | 163422/1 | <p>Description: Former Methodist Sunday School</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.445 | 10573 | Ross | Mona Vale Road | Not applicable | 131312/1 | <p>Description: Parramore and Gillett Family Cemetery</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|----------------|-----------------|---|---|-----------------------|--|
| NOR-C6.1.446 | 7933 | Ross | 32 Park Street | Not applicable | Not applicable | <p>Description: Catholic Cemetery</p> <p>Specific Extent: Specific extent is limited to the part of PID 6831323 defined in the THC central plan register, where available.</p> |
| NOR-C6.1.447 | 5312 | Ross | 34 Park Street | Not applicable | Not applicable | <p>Description: Anglican Cemetery and Walls</p> <p>Specific Extent: Specific extent is limited to the part of PID 6831315 defined in the THC central plan register, where available.</p> |
| NOR-C6.1.448 | 7932 | Ross | Portugal Streets | Not applicable | Not applicable | <p>Description: Original Ross Burial Ground</p> <p>Specific Extent: Specific extent is limited to the part of PID 6831454 defined in the THC central plan register, where available.</p> |
| NOR-C6.1.449 | 5268 | Ross | 2 Portugal Street | Ross Female Factory | Not applicable | <p>Description: Cottage</p> <p>Specific Extent: Specific extent is limited to the part of PID 6831462 defined in the THC central plan register, where available.</p> |
| NOR-C6.1.450 | 5314 | Ross | 31 Waterloo Street | Not applicable | 36457/1 | <p>Description: Cemetery</p> <p>Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available.</p> |
| NOR-C6.1.451 | Not applicable | Ross District | 228 Ashby Road | Ashby House | 239628/1 | <p>Specific Extent: Entire Title</p> |
| NOR-C6.1.452 | Not applicable | Ross District | Chiswick Road (intersection with Midland Highway) | Tacky Creek Road Bridge (Ross Bridge North) | Not applicable | <p>Specific Extent: Specific extent is the bridge 23m north east of the intersection of Chiswick Road and Midland Highway.</p> |
| NOR-C6.1.453 | Not applicable | Ross District | 54 Chiswick Road | Chiswick Homestead | 125055/1 | <p>Description: Homestead, Barn and Cottage</p> <p>Specific Extent: Within curtilage of Chiswick Homestead, Barn and Cottage</p> |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|----------------|-----------------|----------------------|--|-----------------------|---|
| NOR-C6.1.454 | 8223 | Ross District | Honeysuckle Road | Long Marsh dam and Convict Probation Station (Long Marsh Dam Area) | Not applicable | Description: Long Marsh dam and Convict Probation Station (Long Marsh Dam Area) Specific Extent: Specific extent is limited to the part of the land defined in the THC central plan register, where available. |
| NOR-C6.1.455 | Not applicable | Ross District | 1525 Isis Road | Auburn | 124112/1 | Description: Sheepfold and Remains of Shepherds Hut Specific Extent: Entire title |
| NOR-C6.1.456 | Not applicable | Ross District | 1774 Isis Road | Plassey House | 43638/1 | Description: House, Stone Outbuilding, Stone Walls and Paving Specific Extent: Within curtilage of house, Stone Outbuilding, Stone Walls and Paving |
| NOR-C6.1.457 | 5276 | Ross District | 9550 Midland Highway | Somercotes | 170448/1 | Description: House and outbuildings Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.458 | 5276 | Ross District | 9550 Midland Highway | Not applicable | 170447/1 | Description: Horton College Remains Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.459 | Not applicable | Ross District | 90 Mona Vale Road | Wetmore | 139559/1 | Specific Extent: Entire Title |
| NOR-C6.1.460 | Not applicable | Ross District | 348 Mona Vale Road | Lochiel House, Stable and Garden | 171592/1 170444/1 | Specific Extent: Entire Titles |
| NOR-C6.1.461 | 5267 | Ross District | 50 Roseneath Road | Roseneath | 121207/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.462 | 5264 | Ross District | 395 Tooms Lake Road | Beaufront, (Beaufront Outbuildings and Garden) | 124617/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

| Reference Number | THR Number | Town / Locality | Street Address | Property Name | Folio of the Register | Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values |
|------------------|----------------|------------------|------------------------|---|-----------------------|---|
| NOR-C6.1.463 | 5264 | Ross District | 395 Tooms Lake Road | Beaufront, (Beaufront Outbuildings and Garden) | 124617/5 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.464 | 5264 | Ross District | 806 Tooms Lake Road | Beaufront, (Beaufront Outbuildings and Garden) | 52152/2 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.465 | 5280 | Ross District | 1758 Tooms Lake Road | Mt Morrison (Mount Morrison House and Stone Outbuildings) | 125491/9 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.466 | Not applicable | Royal George | 2239 Royal George Road | Lewis Hill | 125294/1 | Specific Extent: Entire Title |
| NOR-C6.1.467 | 5315 | Western Junction | 198 Evandale Road | Clairville (Clairville Homestead and Lodge) | 108432/1 | Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |
| NOR-C6.1.468 | 10643 | Western Junction | 397 Evandale Road | Not applicable | 51239/1 | Description: Evandale Water Scheme (Part 397 Evandale Road 22 of 28) Specific Extent: Specific extent is limited to the part of the title defined in the THC central plan register, where available. |

NOR-Table C6.2 Local Heritage Precincts

| Reference Number | Town/Locality | Name of Precinct | Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy |
|------------------|---------------|---------------------------------|--|
| NOR-C6.2.1 | Campbell Town | Campbell Town Heritage Precinct | <p>The Campbell Town Heritage Precinct is unique because it is the core of a substantially intact nineteenth century townscape, with its significant built fabric, and its atmosphere of a traditional resting place on the main road between the north and south. Its wide main street, historic buildings and resting places for travellers all contribute to its unique character. High Street has remained as the main commercial focus for the town, continuing to serve the needs of residents, visitors and the agricultural community. The War Memorial to the north marks the approach to the business area which terminates at the historic bridge over the Elizabeth River; a significant landscape feature. Traditional buildings in the Precinct include impressive examples of colonial architecture. The historic Valentine's Park is the original foreground for 'The Grange' and provides a public outdoor resting place for visitors and locals at the heart of the town. Campbell Town's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.</p> |
| NOR-C6.2.2 | Evandale | Evandale Heritage Precinct | <p>The Evandale Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, with its rich and significant built fabric and village atmosphere. Its historic charm, tree lined streets and quiet rural setting all contribute to its unique character. Its traditional buildings are an impressive mix of nineteenth and early twentieth century architectural styles, while its prominent elements are its significant trees, the Water Tower and the Church spires. The original street pattern is an important setting for the Precinct, with views along traditional streetscapes, creating an historic village atmosphere that is still largely intact. Period residential buildings, significant trees, picket fences, hedgerows and cottage gardens are all complementary, contributing to the ambience of a nineteenth century village. The main roads into and out of Evandale create elevated views to the surrounding countryside which give context to the town and the Precinct, and contribute to its character. The quiet village feel of the town is complemented by a mix of businesses meeting local needs, tourism and historic interpretation. Evandale's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the village.</p> |
| NOR-C6.2.3 | Longford | Longford Heritage Precinct | <p>The Longford Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, rich with significant structures and the atmosphere of a centre of trade and commerce for the district. Traditional commercial buildings line the main street, flanked by two large public areas containing the Christ Church grounds and the War Memorial. The street then curves gently at Heritage Corner towards Cressy, and links Longford to the surrounding rural farmland,</p> |

| Reference Number | Town/Locality | Name of Precinct | Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy |
|------------------|---------------|-------------------------|---|
| | | | <p>creating views to the surrounding countryside and a gateway to the World Heritage listed Woolmers and Brickendon estates. Heritage residential buildings are tucked behind the main street comprising traditional styles from the mid-nineteenth century to the early twentieth century, including significant street trees, picket fences and cottage gardens. The rural township feel is complemented by a mix of businesses servicing local needs, tourism and historic interpretation. Longford's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.</p> |
| NOR-C6.2.4 | Perth | Perth Heritage Precinct | <p>The Perth Heritage Precinct is unique because it is still the core of a small nineteenth century riverside town, built around the thoroughfare from the first bridge to cross the South Esk River, and which retains its historic atmosphere. It combines significant colonial buildings, compact early river's edge residential development, and retains the small-scale commercial centre which developed in the nineteenth century at the historic crossroads and river crossing for travel and commerce between Hobart, Launceston and the North West. Perth's unique rural setting is complemented by its mix of businesses still serving local and visitor's needs. Perth's heritage ambience is acknowledged by many of those who live in or visit the town, and enhanced by the Midland Highway bypass.</p> |
| NOR-C6.2.5 | Ross | Ross Heritage Precinct | <p>The Ross Heritage Precinct is unique because it is the intact core of a nineteenth century townscape, with its rich and significant built fabric and the village atmosphere. Its historic charm, wide tree lined streets and quiet rural environment all contribute to its unique character. Its traditional buildings comprise simple colonial forms that are predominantly one storey, while the prominent elements are its significant trees and Church spires. Most commercial activities are located in Church Street as the main axis of the village, which directs attention to the Ware Memorial and the Uniting Church on the hill. The existing and original street pattern creates linear views out to the surrounding countryside. The quiet rural feel of the township is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Ross' heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the village.</p> |

NOR-Table C6.3 Local Historic Landscape Precincts

| Reference Number | Town/Locality | Name of Precinct | Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy |
|---|---------------|------------------|--|
| This table is not used in this Local Provisions Schedule. | | | |

NOR-Table C6.4 Places or Precincts of Archaeological Potential

| Reference Number | Town/Locality | Property Name / Address/ Name of Precinct | Folio of the Register | Description, Specific Extent and Archaeological Potential |
|------------------|---------------|---|-----------------------|---|
| NOR-C6.4.1 | Cressy | Methodist Cemetery - 6B Saundridge Road | 92702/10 | Specific Extent: Entire Title |
| NOR-C6.4.2 | Cressy | St Mark's Anglican Church and Cemetery - 3960 Macquarie Road | 125321/1 | Specific Extent: Entire Title |
| NOR-C6.4.3 | Cressy | Holy Trinity Anglican Church, Hall and Cemetery - 110 Main Street | 125263/1 and 249681/2 | Specific Extent: Entire Title |

NOR-Table C6.5 Significant Trees

| Reference Number | Town/Locality | Folio of the Register | Description / Specific Extent | Botanical Name | Common Name | No. of trees |
|------------------|---------------|-----------------------|---|-------------------------|--------------|--------------|
| NOR-C6.5.1 | Campbell Town | Not applicable | Valentine Park, Midland Highway located within the road reserve adjacent to FR 141561/1 and FR 162625/1. The specific extent of the Claret Ash trees are designated as NOR-C.6.5.1 on the overlay maps. | <i>Fraxinus raywood</i> | Claret Ash | 6 |
| NOR-C6.5.2 | Campbell Town | 141561/1 | Valentine Park, Midland Highway. The specific extent of the Pear tree is designated as NOR-C.6.5.2 on the overlay maps. | <i>Pyrus communis</i> | Pear Tree | 1 |
| NOR-C6.5.3 | Evandale | Not applicable | Located on traffic island within the intersection of Rogers Lane and Russell Street. The specific extent of the English Oak trees are designated as NOR-C.6.5.3 on the overlay maps. | <i>Quercus robur</i> | English Oak | 4 |
| NOR-C6.5.4 | Evandale | Not applicable | Located a on traffic island (at the eastern end) within the intersection of Rogers Lane and Russell Street. The specific extent of the Stone Pine tree is designated as | <i>Pinus radiata</i> | Radiata Pine | 1 |

| Reference Number | Town/Locality | Folio of the Register | Description / Specific Extent | Botanical Name | Common Name | No. of trees |
|------------------|---------------|-----------------------|---|--|---------------------------|--------------|
| | | | NOR-C.6.5.4 on the overlay maps. | | | |
| NOR-C6.5.5 | Longford | 135619/1 and 135619/3 | Woolmers, Woolmers Lane. The specific extent of the Medlar tree is designated as NOR-C.6.5.5 on the overlay maps. | <i>Mespilus germanica</i> | Medlar | 1 |
| NOR-C6.5.6 | Longford | 135619/1 and 135619/3 | Woolmers, Woolmers Lane. The specific extent of the Mulberry tree is designated as NOR-C.6.5.6 on the overlay maps. | <i>Morus nigra</i> | Mulberry | 1 |
| NOR-C6.5.7 | Longford | 135619/1 and 135619/3 | Woolmers, Woolmers Lane. The specific extent of the West Himalayan Spruce tree is designated as NOR-C.6.5.7 on the overlay maps. | <i>Picea smithiana</i> | West Himalayan Spruce | 1 |
| NOR-C6.5.8 | Longford | 33649/1 and 33649/7 | Bowthorpe, Pateena Road located within FR 141561/1 and FR 162625/1 or within the road reserve adjacent to FR 141561/1 and FR 62625/1. The specific extent of the English Elm and English Oak trees are designated as NOR-C.6.5.8 on the overlay maps. | <i>Ulmus ppcera</i> / <i>Ulmus robur</i> | English Elm / English Oak | 42 |

| Reference Number | Town/Locality | Folio of the Register | Description / Specific Extent | Botanical Name | Common Name | No. of trees |
|------------------|---------------|-----------------------|--|-------------------------|-----------------------|--------------|
| NOR-C6.5.9 | Longford | 125412/1 | Christ Church, Wellington Street. The specific extent of the Irish Strawberry tree is designated as NOR-C.6.5.9 on the overlay maps. | <i>Arbutus unedo</i> | Irish Strawberry Tree | 1 |
| NOR-C6.5.10 | Longford | 125412/1 | Christ Church, Wellington Street. The specific extent of the Olive tree is designated as NOR-C.6.5.10 on the overlay maps. | <i>Olea europaea</i> | Olive | 1 |
| NOR-C6.5.11 | Longford | 125412/1 | Christ Church, Wellington Street. The specific extent of the Portugese Laurel tree is designated as NOR-C.6.5.11 on the overlay maps. | <i>Prunus lusitana</i> | Portugese Laurel | 1 |
| NOR-C6.5.12 | Longford | 152356/1 and 133724/3 | Toosey Aged and Community Care, 11 Smith Street. The specific extent of the Scarlet Oak tree is designated as NOR-C.6.5.12 on the overlay maps. | <i>Quercus coccinea</i> | Scarlet Oak | 1 |
| NOR-C6.5.13 | Perth | 30378/1 | 71 Youl Road. The specific extent of the English Oak tree is designated as NOR-C.6.5.13 on the overlay maps. | <i>Quercus robur</i> | English Oak | 1 |
| NOR-C6.5.14 | Ross | Not applicable | Church Street. The specific extent of the | <i>Ulmus procera</i> | English Elm | 48 |

| Reference Number | Town/Locality | Folio of the Register | Description / Specific Extent | Botanical Name | Common Name | No. of trees |
|------------------|---------------|-----------------------|---|----------------|-------------|--------------|
| | | | English Elm trees are designated as NOR-C.6.5.14 on the overlay maps. | | | |

NOR-Table C8.1 Scenic Protection Areas

| Reference Number | Scenic Protection Area Name | Description | Scenic Value | Management Objectives |
|------------------|------------------------------------|--|---|--|
| NOR-C8.1.1 | Mt Arnon Scenic Protection Area | Treed Ridgeline and pasture to the east of Pateena Road and north of Norwich Drive and between Norwich Drive and the Midland Highway and designated as NOR-C.8.1.1 on the overlay maps. | Undeveloped tree covered skylines and bushland cover on elevated slopes with high habitat values, visible along important tourism routes and other through roads. | <p>(a) Retention of natural tree cover on skylines and existing bushland cover on elevated slopes and of pastoral views across river flood plains; and</p> <p>(b) Development of land does not:</p> <ul style="list-style-type: none"> - intrude onto skylines or river flood plains; or - change the landscape character of elevated areas, pastoral scenes or river flood plain views; <p>as seen from tourist corridors or through roads.</p> |
| NOR-C8.1.2 | Gibbet Hill Scenic Protection Area | Land to the north of Perth and west of Devon Hills Specific Area Plan. Land above the 200m contour containing the feature known as Gibbet Hill. Comprised of gently sloping rural living land incorporating native vegetation and designated as NOR-C.8.1.2 on the overlay maps. | Low density settlement areas with remnant tree cover on skylines visible along important tourism routes. | <p>(a) Retention of remnant tree cover on skylines and limit further development to low density and low impact; and</p> <p>(b) Development of land does not:</p> <ul style="list-style-type: none"> - intrude onto skylines or river flood plains; or - change the landscape character of elevated areas, pastoral scenes or river flood plain views; <p>as seen from tourist corridors or through roads.</p> |

| Reference Number | Scenic Protection Area Name | Description | Scenic Value | Management Objectives |
|------------------|--|---|---|---|
| NOR-C8.1.3 | Devon Hills Scenic Protection Area | Land to the south and south-east of Devon Hills Specific Area Plan providing a buffer to the Translink site and the Launceston Airport. Comprised of gently sloping grazing land incorporating native vegetation and designated as NOR-C.8.1.3 on the overlay maps. | Low density settlement areas with remnant tree cover on skylines visible along important tourism routes. | <p>(a) Retention of remnant tree cover on skylines and limit further development to low density and low impact; and</p> <p>(b) Development of land does not:</p> <ul style="list-style-type: none"> - intrude onto skylines or river flood plains; or - change the landscape character of elevated areas, pastoral scenes or river flood plain views; <p>as seen from tourist corridors or through roads.</p> |
| NOR-C8.1.4 | Evandale Scenic Protection Area | Land to the north, north west, west, and south west of Evandale. Northern extent of area extends to the Southern Esk River whilst the southern extent of the area extends to South Line Railway line and designated as NOR-C.8.1.4 on the overlay maps. | Pastoral views across river flood plains and grazing land visible along tourism routes. | <p>(a) Protection of pastoral views across grazing land and river flood plains wherever visible along tourism routes or through roads from unsympathetic development; and</p> <p>(b) Development of land does not:</p> <ul style="list-style-type: none"> - intrude onto skylines or river flood plains; or - change the landscape character of elevated areas, pastoral scenes or river flood plain views; <p>as seen from tourist corridors or through roads.</p> |
| NOR-C8.1.5 | Great Western Tiers Scenic Protection Area | Land on the slopes of the Western Tiers west of Blackwood Creek and extending south past Poatina to Lake River Road and designated as NOR-C.8.1.5 on the overlay maps. | Undeveloped tree covered skylines and bushland cover on elevated slopes with high habitat values, visible along important tourism routes and other through roads. | <p>(a) Retention of natural tree cover on skylines and existing bushland cover on elevated slopes and of pastoral views across river flood plains; and</p> <p>(b) Development of land does not:</p> <ul style="list-style-type: none"> - intrude onto skylines or river flood plains; or - change the landscape character of elevated areas, pastoral scenes or river flood plain views; <p>as seen from tourist corridors or through roads.</p> |

| Reference Number | Scenic Protection Area Name | Description | Scenic Value | Management Objectives |
|------------------|---|---|---|--|
| NOR-C8.1.6 | O'Connor's Peak and O'Connor's Sugarloaf Scenic Protection Area | Land above the 300m contour of the geological feature identified as O'Connors Peak and O'Connor's Sugarloaf designated as NOR-C.8.1.6 on the overlay maps. | Undeveloped tree covered skylines and bushland cover on elevated slopes with high habitat values, visible along important tourism routes and other through roads. | <p>(a) Retention of natural tree cover on skylines and existing bushland cover on elevated slopes and of pastoral views across river flood plains; and</p> <p>(b) Development of land does not:</p> <ul style="list-style-type: none"> - intrude onto skylines or river flood plains; or - change the landscape character of elevated areas, pastoral scenes or river flood plain views; <p>as seen from tourist corridors or through roads.</p> |
| NOR-C8.1.7 | Parnook Hill Scenic Protection Area | Land above the 300m contour of the geological feature identified as Parnook Hill and designated as NOR-C.8.1.7 on the overlay maps. | Undeveloped tree covered skylines and bushland cover on elevated slopes with high habitat values, visible along important tourism routes and other through roads. | <p>(a) Retention of natural tree cover on skylines and existing bushland cover on elevated slopes and of pastoral views across river flood plains; and</p> <p>(b) Development of land does not:</p> <ul style="list-style-type: none"> - intrude onto skylines or river flood plains; or - change the landscape character of elevated areas, pastoral scenes or river flood plain views; <p>as seen from tourist corridors or through roads.</p> |
| NOR-C8.1.8 | Connorville Scenic Protection Area | Land above the 350m contour of the geological feature at 395 Macquarie Road, Cressy folio of the Register 132520/1 and designated as NOR-C.8.1.8 on the overlay maps. | Undeveloped tree covered skylines and bushland cover on elevated slopes with high habitat values, visible along important tourism routes and other through roads. | <p>(a) Retention of natural tree cover on skylines and existing bushland cover on elevated slopes and of pastoral views across river flood plains; and</p> <p>(b) Development of land does not:</p> <ul style="list-style-type: none"> - intrude onto skylines or river flood plains; or - change the landscape character of elevated areas, pastoral scenes or river flood plain views; <p>(c) as seen from tourist corridors or through roads.</p> |

| Reference Number | Scenic Protection Area Name | Description | Scenic Value | Management Objectives |
|------------------|--|--|---|--|
| NOR-C8.1.9 | Midland Highway Scenic Protection Area | Treed Ridgeline and pasture to the west of the Midland Highway between Devon Hills and Launceston and designated as NOR-C.8.1.9 on the overlay maps. | Undeveloped tree covered skylines and bushland cover on elevated slopes with high habitat values, visible along important tourism routes and other through roads. | <p>(a) Retention of natural tree cover on skylines and existing bushland cover on elevated slopes and of pastoral views across river flood plains; and</p> <p>(b) Development of land does not:</p> <ul style="list-style-type: none"> - intrude onto skylines or river flood plains; or - change the landscape character of elevated areas, pastoral scenes or river flood plain views; <p>as seen from tourist corridors or through roads.</p> |

NOR-Table C8.2 Scenic Road Corridors

| Reference Number | Scenic Road Corridor Description | Scenic Value | Management Objectives |
|------------------|----------------------------------|--|--|
| NOR-C8.2.1 | Chiswick Road | Northern connector Road between Midland Highway and Ross. Key tourist route providing a scenic entry into the historic township including hawthorn hedges and road side tree plantings. | <p>Maintain scenic landscape views and minimise development that would adversely impact on the rural scenery, historic hedges, and roadside tree plantings.</p> <p>Development of land does not intrude onto skylines or river flood plains, or change the landscape character of elevated areas, pastoral scenes, or river flood plain views.</p> |
| NOR-C8.2.2 | Clarendon Station Road | Connector Road between Nile Road and Clarendon historic site on the Esk River plain. Key tourist route providing views of local rural landscapes, historic hedges, and scenic Western Tiers. | <p>Maintain scenic landscape views and minimise development that would adversely impact on the rural and landscape scenery, and historic hedges.</p> <p>Development of land does not intrude onto skylines or river flood plains, or change the landscape character of elevated areas, pastoral scenes, or river flood plain views.</p> |

| Reference Number | Scenic Road Corridor Description | Scenic Value | Management Objectives |
|------------------|----------------------------------|---|---|
| NOR-C8.2.3 | Esk Main Road | Key tourist route to Avoca and through the Fingal Valley to the East Coast, providing views of local rural landscapes and National Parks comprised of Castle Carey and surrounding hills including China Cup Hills, Dog Kennels, and St. Paul's dome. | <p>Maintain scenic views and minimise development that would adversely impact on the rural and wilderness scenery.</p> <p>Development of land does not intrude onto skylines or river flood plains, or change the landscape character of elevated areas, pastoral scenes, or river flood plain views.</p> |
| NOR-C8.2.4 | Illawarra Road | Connector Road between Perth and Meander Valley Road. Key tourist route providing views of local rural landscapes and historic hedges. | <p>Maintain scenic landscape views and minimise development that would adversely impact on the rural scenery and historic hedges.</p> <p>Development of land does not intrude onto skylines or river flood plains, or change the landscape character of elevated areas, pastoral scenes, or river flood plain views.</p> |
| NOR-C8.2.5 | Lake Leake Road | Key tourist route to Lake Leake and Greater Oyster Bay providing views of local rural landscapes and priority vegetation areas. | <p>Maintain scenic landscape views and minimise development that would adversely impact on the treed scenery adjacent to the road.</p> <p>Development of land does not intrude onto skylines or river flood plains, or change the landscape character of elevated areas, pastoral scenes, or river flood plain views.</p> |
| NOR-C8.2.6 | Leighlands Road | Connector Road between Midland Highway and Evandale. Key tourist route providing views of local rural landscapes and Ben Lomond ranges. | <p>Maintain scenic views and minimise development that would adversely impact on the rural scenery.</p> <p>Development of land does not intrude onto skylines or river flood plains, or change the landscape character of elevated areas, pastoral scenes, or river flood plain views.</p> |

| Reference Number | Scenic Road Corridor Description | Scenic Value | Management Objectives |
|------------------|----------------------------------|---|--|
| NOR-C8.2.7 | Midland Highway | Major north-south tourist route providing views of rural landscape with backdrop of Western Tiers and Ben Lomond Ranges. | <p>Maintain scenic views and minimise development that would adversely impact on the rural scenery.</p> <p>Development of land does not intrude onto skylines or river flood plains, or change the landscape character of elevated areas, pastoral scenes, or river flood plain views.</p> |
| NOR-C8.2.8 | Pateena Road | Connector Road between Illawarra Road (midway between Perth and Longford in the south) and Bass Highway in the north; providing views of local rural landscapes and distant views to the western tiers. | <p>Maintain scenic landscape views and minimise development that would adversely impact on the rural scenery.</p> <p>Development of land does not intrude onto skylines or river flood plains, or change the landscape character of elevated areas, pastoral scenes, or river flood plain views.</p> |
| NOR-C8.2.9 | Saundridge Road | Connector Road between the intersection with Poatina Road in the south to the intersection with Blackwood Creek Road in the north. | <p>Maintain scenic landscape views and minimise development that would adversely impact on the rural scenery and heritage properties.</p> <p>Development of land does not intrude onto skylines or river flood plains, or change the landscape character of elevated areas, pastoral scenes, or river flood plain views.</p> |
| NOR-C8.2.10 | Woolmers Lane | Connector Road between Midland Highway and Longford. Key tourist route providing views of local rural landscapes and historic hedges. | <p>Maintain scenic landscape views and minimise development that would adversely impact on the rural scenery and historic hedges.</p> <p>Development of land does not intrude onto skylines or river flood plains, or change the landscape character of elevated areas, pastoral scenes, or river flood plain views.</p> |

NOR-Table C11.1 Coastal Inundation Hazard Bands AHD Levels

| Locality | High Hazard Band (m AHD) | Medium Hazard Band (m AHD) | Low Hazard Band (m AHD) | Defined Flood Level (m AHD) |
|---|--------------------------|--|---|---------------------------------------|
| | Sea Level Rise 2050 | 1% annual exceedance probability 2050 with freeboard | 1% annual exceedance probability 2100 (design flood level) with freeboard | 1% annual exceedance probability 2100 |
| This table is not used in this Local Provisions Schedule. | | | | |

NOR-Applied, Adopted or Incorporated Documents

| Document Title | Publication Details | Relevant Clause in the LPS |
|--|---------------------|--|
| <i>Australian Standard AS 2021 – 2000 Acoustics – Aircraft Noise Intrusion – Building Siting and Construction.</i> | | NOR-S1.6.3 A1.3 |
| <i>Australian Standard AS2890.1:2004 – Parking facilities, Part 1: Off-street car parking</i> | | NOR-S2.8.4 A2 NOR-S3.8.4 A2 NOR-S5.8.4 A2 NOR-S6.8.4 A2 NOR-S7.8.4 A2 NOR-S8.8.4 A2 |
| <i>Australian Standard AS2890.2:2002 - Parking facilities, Part 2: Off-street commercial vehicle facilities</i> | | NOR-S2.8.4 A2 NOR-S3.8.4 A2 NOR-S5.8.4 A2 NOR-S6.8.4 A2 NOR-S7.8.4 A2 NOR-S8.8.4 A2 |
| <i>Guide to Road Design Part 6A: Paths for Walking and Cycling 2016</i> | Austrroads Inc | NOR-S2.8.4 P1 NOR-S3.8.4 P1 NOR-S5.8.4 P1 NOR-S6.8.4 P1 NOR-S7.8.4 P1 NOR-S8.8.4 P1 |

Appendix A: Local Historic Heritage Code Datasheets

NOR-Table C6.1 Local Historic Heritage Places Datasheet – NOR-C6.1.102

HOLY TRINITY CHURCH, HALL AND CEMETARY

110 Main Street, Cressy



Name: **Holy Trinity Church and Hall**

Address: **110 Main Street, Cressy**

Use: **Place of Assembly**

Architectural style: **Victorian Gothic (church building) and Federation style (church hall)**

Walls: **Brick**

Roof: **Corrugated Iron**

Floors: **Timber**

Integrity: **Predominantly intact**

Description

Church

A single storey brick Victorian Gothic style building. It has a steep pitched gable roof with rear addition with a bayed hipped end. There are two lower projecting bays at the front with gable roofs and decorative gable with timber framing to represent the seven golden candlesticks of the churches of Asia. The roof covering is corrugated iron sheets. There is an impressive octagonal Belfry covered with Huon pine shingles capped with a decorative ironwork finial, on the eastern end gable ridge. The bell is enclosed with timber louvres. Narrow gothic style timber frame windows are glazed with stained cathedral glass.

Hall

A single storey timber Federation style building. It has a gable roof covered with corrugated iron. The walls are lined with horizontal timber bullnose weatherboards and the windows are timber frame with multi-pane glazing.

Historical Relationships

The first church was between 1838 and 1844 and consecrated by Bishop Nixon. It was replaced by a new church built on the land gifted by Mr. J D Toosey in 1858. In 1894, extensions to the church were designed by Corrie and North of Launceston and constructed by Launceston builders J and T Gunn. The extensions included a brick porch, on the north east corner of the building. The original entrance was at the western end of the church. The hexangular shaped belfry extends about 6.0 metres above the roof of the church and is covered with Huon pine shingles and capped with an ironwork finial about 2.0 metres high. The bell, which formally belonged to the East Indian Company, bears the inscription 'Sara Christiana, July 14, 1798' and was gifted to the church by the late Mr. J D Toosey.

Visual Relationships

The site is located on the west side of Main Street on the corner with Saundridge Road. The church is sited towards the centre of the property with the main driveway entrance centrally located off Main Road with an open green space on the front corner and the Hall opposite north side of the driveway. The driveway extends to a circular drive around both sides of the church. There are graves on both sides of the church and towards the rear of the site. The location of the hall in the front north corner of the site has maintained the picturesque setting of the church with its distinctive bell tower clearly visible from adjoining public spaces. The visual integrity of the church within its setting has been maintained.

Specific Extent

Not applicable.

Figures for specific extent

Not applicable.

Statement of local historic heritage significance and historic heritage values

| |
|---|
| (a) Significance of the local heritage place and its historic heritage values because of its role in, representation of, or potential for contributing to the understanding of: |
|---|

| |
|--|
| (i) local history - Holy Trinity Church, 110 Main Street, Cressy is of heritage significance because it demonstrates the importance attributed to spiritual life and associated facilities in the early 1800s. |
|--|

| |
|--|
| (ii) creative or technical achievements - Holy Trinity Church building is of historic heritage significance because of its ability to demonstrate the principal characteristics of a brick Gothic style ecclesiastical building. Holy Trinity Hall building is of historic heritage significance because of its ability to demonstrate the principal characteristics of a timber Federation style church hall. |
|--|

| |
|--|
| (iii) a class of building or place – Not applicable. |
|--|

| |
|--|
| (iv) aesthetic characteristics – Not applicable. |
|--|

| |
|--|
| (b) Significance of the local heritage place and its values because of its association with: |
|--|

| |
|---|
| (i) a particular community or cultural group for social or spiritual reasons - Holy Trinity Church, Hall and Cemetery has a strong association with the Cressy district or cultural group for social and spiritual reasons. |
|---|

(ii) the life or works of a person, or group of persons, of importance to the locality or region - The place has a strong association with the life or works of a person, group of persons, of importance in Tasmania's history.

Figures for statements of local historic heritage significance and heritage values

Local Context Diagram



South side of the church showing the rear additions and front side bay



Entrance with decorative timber detailing to gable end and upper section of walls



West end of the church showing bayed end hipped roof and more recent restoration work



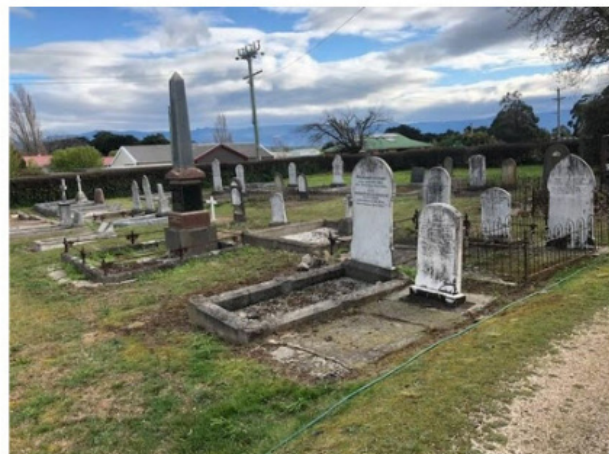
Hexangular Belfry with timber louvre bell screen, Huon pine shingle roof and decorative iron finial



View of the Church Hall from the main entrance driveway



Graves on the south side of the church



Main signboard at the front of the property noting the church was built in 1857



References: Historical and Technical Documentation by David Shield, 2012
Tasmanian Anglican, June 2008 Major Milestone for Parish of Cressy

NOR-Table C6.1 Local Historic Heritage Places Datasheet – NOR-C6.1.109

ST MARK'S ANGLICAN CHURCH

3960 Macquarie Road, Cressy



Name: **St Mark's Lake River Anglican Church**

Address: **3960 Macquarie Road, Cressy**

Use: **Place of Assembly**

Architectural style: **Carpentry Gothic**

Walls: **Beaded edge timber weatherboards**

Roof: **Corrugated Iron**

Floors: **Timber**

Integrity: **Predominantly intact**

Description

Church

A single storey Timber Gothic style building. It has a steep pitched gable roof covering with corrugated iron. The simple rectangular plan form has a projecting bay on the south side with the main entrance door. The walls are lined externally with horizontal weatherboards with a bottom edge bead. Window frames are narrow timber framed with leadlight glazing. The gable ends are trimmed with decorative timber barge boards. The architectural embellishments are very modest which contribute to the building's simple elegant scale and proportions.

Historical Relationships

The Lake River area was originally part of the district of Norfolk Plains. This area extended from Campbell Town to Bass Strait and from Perth in the central midlands to Deloraine in the west. A Chaplain of Norfolk Plains was appointed by King George IV, in 1830. He was a Church of England clergyman. The headquarters of the region was Latour, which is now Longford. The site for the Church and cemetery at Lake River was donated by John Gatenby Esq. of "Pisa."

The church was built in 1864. Mr. Gatenby provided more than one third of the cost of the building and furnishings. The church was consecrated in 1865 by Bishop Charles Bromby and formed part of the Anglican parish of Cressy. The church was used as a school for children from the surrounding district for a period in the 1920s. St Mark's church was for the use of the members of the Church of England in the missionary district of Macquarie and Lake Rivers.

The site contains graves of the pioneer settlers and their dependents include:

- the Lawrence family of "Formosa";
- the O'Connor family of "Connorville" and "Benham";
- the Gatenby family of "Pisa" and "Creekton";
- the Fletcher family of "Talentyre";
- the Whitfield family of "Fairfield";
- the Parker family of "Parknook"; and
- a number of the employees of those families.

Visual Relationships

The site is approximately 2 acres in a rural setting on the east side of Macquarie Road, a short distance from the Lake River. The church is setback from the road boundary, the siting of the church on a small rise enhances its simple lines and gothic style architectural composition. Although a relatively small structure, the building fits harmoniously within the open landscape. The grounds are well-maintained and contain graves of pioneer settlers and their descendants of the Lake River area.

Specific Extent

Not applicable.

Figures for specific extent

Not applicable.

Statement of local historic heritage significance and historic heritage values

| |
|---|
| (a) Significance of the local heritage place and its historic heritage values because of its role in, representation of, or potential for contributing to the understanding of: |
|---|

| |
|--|
| (i) local history - St Mark's Church Lake River is of heritage significance because it demonstrates the importance attributed to spiritual life and facilities by the pioneer settlers and their dependents of the district of Norfolk Plains. |
|--|

| |
|---|
| (ii) creative or technical achievements - The St Mark's Church building is of historic heritage significance because of its ability to demonstrate the principal characteristics of a carpentry Gothic ecclesiastical building. |
| (iii) a class of building or place – Not applicable. |
| (iv) aesthetic characteristics – Not applicable. |
| (b) Significance of the local heritage place and its values because of its association with: |
| (i) a particular community or cultural group for social or spiritual reasons - St Mark's Church and cemetery has a strong association with a particular community or cultural group for social and spiritual reasons. |
| (ii) the life or works of a person, or group of persons, of importance to the locality or region - The place has strong associations with the life or works of a person, group of persons, of importance in Tasmania's history. |

Figures for statements of local historic heritage significance and heritage values

Local Context Diagram



South side of the building showing the small gable roof wing and narrow window



North side of the building with 4 equally spaced narrow windows. The weatherboards extend to the ground with no visible foundation wall



East side of the building showing the steep gable roof with modestly shaped barge boards and narrow window frames. The narrow windows forms have been coupled together to form a wider window.



View of narrow side window with bottom beaded timber weatherboards



Signboard at the front of the property noting that the Church was consecrated on the 14th December 1865



Brass plaque mounted on the front gate post



References: Information sheet at "Pisa" Church dated 2009

St Mark's Lake River – "The Pisa Church" Duncan Grant 2018